

CITY OF MORENO VALLEY
TELECOMMUNICATIONS LICENSE AGREEMENT

This Telecommunications License Agreement ("License") is effective as of the date signed by Licensor and is by and between THE CITY OF MORENO VALLEY, THE MORENO VALLEY COMMUNITY SERVICES DISTRICT, AND THE MORENO VALLEY REDEVELOPMENT AGENCY hereinafter called "Licensor," and NEW CINGULAR WIRELESS PCS, LLC, a Delaware limited liability company hereinafter called "Licensee."

The parties agree as follows:

1. Premises.

Licensor owns the real property located at 13170 Lasselle Street, Moreno Valley, CA 92553 and legally described in Exhibit "A" hereinafter called "Property." Subject to the following terms and conditions, Licensor licenses to Licensee that portion of Licensor's Property depicted in Exhibit "B," including all necessary and reasonable access and utility rights for installation, operation, and maintenance of Licensee's equipment, structures, and utilities (the "Premises"). Exhibit "C," Conditional Use Permit and Conditions of Approval, is attached hereto and incorporated by reference into this License Agreement.

2. Use.

- A. The Premises may be used by Licensee for any lawful activity in connection with the provision of mobile/wireless communications services, including without limitation, the transmission and the reception of radio communication signals on various frequencies and the construction, maintenance and operation of related communications facilities, subject to the terms and conditions of this License.
- B. Licensee shall use the Premises in compliance with all applicable laws, statutes, ordinances, rules, regulations and orders in effect.
- C. Licensor agrees, at no expense to Licensor, to cooperate with Licensee, in making application for and obtaining all licenses, permits and any and all other necessary approvals that may be required for Licensee's intended use of the Premises.
- D. The terms and conditions in this License are offered solely to Licensee as an inducement to execute the License for the Premises. Licensor would not necessarily license the Premises to another licensee on such favorable terms and conditions, it being understood that Licensor is specifically relying on the identity of Licensee in agreeing to the terms and conditions in this License. Licensee acknowledges that the License terms and conditions are for Licensee's benefit only so long as Licensee operates the business allowed by this License. But for the previously stated reasons,

Licensor would not enter into this License. Therefore, Licensee shall not voluntarily, involuntarily, or by operation of laws, sublicense all or any part of the Premises or allow it to be assigned or sublicensed to any person or entity other than Licensee except as otherwise permitted under Section 13.

- E. Licensee shall not voluntarily, involuntarily, or by operation of laws, sublicense all or any part of the Premises or allow it to be sublicensed, to any person or entity other than Licensee (except as otherwise permitted under Section 13) without the prior written approval of Licensor, which approval will not be unreasonably withheld, delayed or conditioned. In the event Licensee sublicenses or permits the collocation of equipment or antenna space within the Premises or on Licensee's pole to a communications carrier unaffiliated to Licensee, the Rent (as defined below) due under this License shall increase by an amount equal to Fifty Percent (50%) of the current rent at the time of the sublicensing or collocation for each month the additional carrier's equipment is located within the Premises or on the pole. Notwithstanding anything in this License to the contrary, nothing in this License shall prohibit the shared use of Licensee's Facilities (as defined below) with another party pursuant to a strategic alliance, roaming, or other agreement with Licensee; provided, however, such third party does not install any equipment in or upon the Premises.

3. Conditions Precedent.

This License is conditioned upon Licensee obtaining all necessary federal, state, or local governmental permits and approvals enabling Licensee to construct and operate mobile/wireless communications facilities on the Premises.

4. Term.

This License is binding and in effect upon full execution and delivery by Licensor and Licensee. The term of this License ("Term") shall be five (5) years commencing sixty (60) days after Licensee has obtained all permits and approvals necessary to construct and operate Licensee's Facilities (as defined in Section 6B below) on the Premises ("Commencement Date"). Licensee shall have the right to extend the Term of this License for five (5) additional terms ("Renewal Term") of five (5) years each. The terms and conditions for the Renewal Term shall be the same terms and conditions of this License, except that the Rent shall be increased as set forth in Section 5. This License shall automatically be extended for each successive five (5) year Renewal Term unless notice is provided in writing of Licensor's, or Licensee's intention not to extend this License at least thirty (30) days but not more than 180 days prior to the expiration of the first five year Term or any Renewal Term.

At the expiration of the final Renewal Term of the License Agreement, Licensor and Licensee, at their option, shall renegotiate the License Agreement.

5. Rent.

A. In consideration of the rights granted by this License, upon the Commencement Date and throughout the initial Term of this License, Licensee shall pay Licensor the sum of Thirty Thousand Dollars (\$30,000.00) per year as rent ("Rent"). Rent shall be payable on the Commencement Date, in advance, in monthly installments of Two Thousand Five Hundred Dollars (\$2,500.00)*, plus maintenance fee to Licensor at the address specified in Section 18 below. The rent shall increase at a rate of 3% each year on the anniversary date of the Commencement Date, for the remaining term of the License Agreement.

B. * Rent is assessed based on a building size (including roofline) not exceeding 400 square feet, and one telecommunication tower. Buildings exceeding 400 square feet will be assessed at an initial rate of \$5.00 a square foot. Buildings less than 400 square feet will be assessed initial Rent of Two Thousand Dollars (\$2,000.00). The building design submitted by the Licensee is 500 square feet at roofline.

C. If the Rent is not received by Licensor on or before the fifteenth (15th) day following the due date, it shall be deemed delinquent. If the Rent is not paid before delinquency, then the amount due and unpaid shall be subject to a late charge at the rate of five percent (5%) of the overdue amount, without limitation to Licensor's other rights and remedies under this License.

D. Licensee may request to expand the Premises. Licensee must submit plans showing the proposed use beyond the existing square footage, and if determined to be in Licensor's best interests, Licensor will provide written consent, which consent will not be unreasonably withheld, conditioned, or delayed. Rent shall be increased in proportion to the extra square footage included in the revised Premises.

6. Improvements; Access.

A. Licensee shall have the right (but not the obligation) at any time following the full execution and delivery of this License and prior to the Commencement Date, to enter the Premises for the purpose of making necessary inspections and engineering surveys (and soil tests where applicable) and other reasonably necessary tests (collectively "Tests") to determine the suitability of the Premises for Licensee's Facilities (as defined herein) and for the purpose of preparing for the construction of Licensee's Facilities. During any Tests or pre-construction work, Licensee will have in effect the insurance required in Section 12, Insurance. Licensee will notify Licensor of any proposed Tests or pre-construction

work and will coordinate the scheduling of same with Licensor. If Licensee determines that the Premises are unsuitable for Licensee's contemplated use, then Licensee will notify Licensor and this License will terminate.

- B. Subject to all terms and conditions of this License, Conditional Use Permit, and Approved Plans and Specs, Licensee has the right to construct, maintain and operate on the Premises radio communications facilities, including but not limited to, radio frequency transmitting and receiving equipment, batteries, utility lines, transmission lines, radio frequency transmitting and receiving antennas and structures, ("Licensee's Facilities") and lighting as specifically identified on the attached Exhibit B. In connection therewith, Licensee has the right to do all work necessary to prepare, add, maintain and alter the Premises for Licensee's communications operations and to install utility lines and transmission lines connecting antennas to transmitters and receivers, except that any change to the Licensee's Facilities adversely and materially affecting the visual appearance of the Premises, any modification of equipment which places an additional load on the Licensor's electrical system requiring an increase in Licensee's 200 amp service panel size and capacity shall be prohibited until approved in writing by Licensor, and such approval will not be unreasonably withheld, unreasonably conditioned or unreasonably delayed. Notwithstanding the forgoing, Licensee shall be entitled to exchange and replace equipment and antennas within the Premises provided that (i) any new equipment is either not physically or materially greater in size or not visible to the public; or (ii) any antennas are not substantially greater in size than those previously installed.
- C. Licensee shall submit an application to the City of Moreno Valley for a Conditional Use Permit and pay all applicable fees. Subject to the approval of a Conditional Use Permit, Licensee shall construct, maintain and operate said Facilities in accordance with the Conditions of Approval as set forth by the City's CEDD Planning, Building & Safety, Parks & Community Services Departments, and the Fire Prevention Bureau, et al, during the plan review process.
- D. Licensee shall obtain and pay for all building permits and fees as required. City approved temporary fencing shall be placed around the construction site for the duration of construction.
- E. As part of the installation of Licensee's Facilities, Licensee shall have the right to install electrical service, at Licensee's expense, including, but not limited to primary power and installation of an emergency back-up power system for Licensee's Facilities. Subject to Licensor's approval of the location, which approval shall not be unreasonably withheld, Licensee shall have the right to place utilities on (or to bring utilities across) Licensor's Property in order to service the Premises and Licensee's Facilities.

- F. Licensee shall commence and diligently pursue all of the construction and installation work described in this Section 6 so as to fully complete said work within 180 days of the Commencement Date subject to reasonable extension of time due to events of force majeure.
- G. All of Licensee's construction and installation work shall be performed at Licensee's sole cost and expense, in a good and workmanlike manner as defined by the prevailing industry standard for public works projects.
- H. The Licensee shall provide and maintain in effect two (2) good and sufficient Surety Bonds for one hundred percent (100%) each, in amounts and form as required by the Licensor. The bonds shall be a "Faithful Performance Bond" which shall guarantee the faithful performance of all work and a "Labor and Materials Payment Bond" which shall secure the payment of the claims of labor, mechanics, or materialmen for all work under the Contract pursuant to Section 3247 of the Civil Code. The Bonds shall be City approved, prior to the issuance of building permits.
- I. Title to Licensee's Facilities installed or placed on the Premises by Licensee shall be held by Licensee. Licensee has the right to remove all of Licensee's Facilities at its sole expense on or before the expiration or termination of this License, except those portions of Licensee's Facilities which are full integrated into Licensor owned property and ballfield lighting system. It is the intent of the parties that electrical service and lighting for park facilities, including but not limited to park ballfield lighting, shall be a permanent Licensor installation and all electrical service components, panels, conduits, conductors, and shall remain in place upon termination of this License and title to same shall revert to the City of Moreno Valley. Upon termination of this License the Licensor shall have the option to have Licensee's structures and buildings removed at Licensee's sole expense or to have them remain in place. The Licensor will notify the Licensee thirty (30) days prior to the termination or expiration of this License as to the option of leaving or removing the structure. If said buildings and structures are allowed to remain in place title to same shall revert to the City of Moreno Valley. Licensor shall take title to said facilities in their then existing "AS-IS, WHERE-IS" condition, without representation or warranty from Licensee. All of Licensee's communication equipment shall at all times be and remain Licensee's personal property, not be considered fixtures, and in no event shall any part of Licensee's communications equipment be deemed or considered "integrated into Licensor owned property."
- J. Licensor shall provide continuous access to Licensee, Licensee's employees, agents, contractors and subcontractors a designated access route on Exhibit B to the Premises twenty-four (24) hours a day, seven (7) days a week, at no charge to Licensee. Licensor represents and warrants that it has full rights of ingress to and egress from the Premises, and hereby grants such rights to Licensee to the extent required to construct, maintain, install and operate Licensee's Facilities on the Premises.

Licensee's exercise of such rights shall not cause undue inconvenience to the Licensor. Except in the event of an emergency (including equipment failure), Licensee shall provide a minimum of twenty-four (24) hours notice to the Owner and the City Parks Maintenance Division prior to access of the Premises for scheduled routine maintenance and other major work.

- K. For additional access and utility rights beyond those provided to Licensee by Licensor in this License, it shall be the responsibility of Licensee to obtain and pay for all additional easements, rights of entry and all incidentals necessary to Licensee's operations upon the Premises.
 - L. Licensor shall maintain an access pathway from a public roadway to the Premises in a manner sufficient to allow access for Licensee's use of the Premises. Licensor shall be responsible for maintaining and repairing such access pathway, at its sole expense, except for any damage caused by Licensee's use of such access pathway; or replace damaged items. If Licensee causes any such damage, Licensee shall promptly repair all damages within ten (10) working days of Licensee's receipt of written notice from the Licensor. If the Licensee fails to make such repair or replacement within ten (10) working days of Licensee's receipt of written notice, the Licensor may cause the work to be done and the costs incurred thereby shall become the liability of the Licensee, and the Licensor shall be reimbursed said cost.
 - M. Licensee shall fully and promptly pay for all utilities used by Licensee for the use, operation and maintenance of Licensee's Facilities in the Premises.
 - N. Licensor shall be entitled to enter the Premises at any time to inspect Licensee's facilities for compliance with the terms of this License, and with all applicable Federal, state and local governmental regulations.
 - O. Licensor retains the right to access the Premises during the term of this License for any purpose that does not interfere with Licensee's use of the Premises as provided herein.
7. Maintenance; Landscaping
- A. Licensee shall be responsible for repairing and maintaining Licensee's Facilities and any other improvements installed by Licensee on the Premises in a proper operating and reasonably safe condition. This shall include the repair of all damage incurred whether natural or man made.
 - B. Upon acceptance of the site improvements, Licensor shall be responsible for all graffiti removal and abatement at the Premises. Licensee shall pay a graffiti removal and landscape maintenance fee in the amount of One Hundred Dollars (\$100.00) per month for said service. The abatement and landscape maintenance fee shall be noted as a separate line item.

The graffiti removal and landscape maintenance fee shall increase at a rate of 3% each year, for the remaining term of the License Agreement.

8. Interference with Communications.

- A. Licensee agrees to install equipment of types and frequencies which will not cause interference to the currently existing communications equipment (as configured) of Licensor, Licensor's vendors, or other pre-existing licensees or lessees of the Premises. In the event Licensee's equipment causes such interference, Licensee shall cooperate with Licensor in determining the source and will immediately take all steps necessary to correct and eliminate the interference. If said interference cannot be eliminated within forty-eight (48) hours after receipt of written notice from Licensor to Licensee of the existence of such interference and Licensor has reasonably determined Licensee's equipment to be the source of said interference, Licensee shall discontinue use of the equipment creating said interference. Licensee shall shut down the interfering equipment except for intermittent operation for the purpose of testing after performing any maintenance, repair, modification, replacement or other action for the purpose of correcting such interference. If such interference is not corrected within thirty (30) days after receipt of the aforesaid notice, Licensee shall remove the interfering equipment from the Premises. In the event that the cause of such interference cannot be pinpointed to a particular piece of equipment or system, Licensee shall disconnect the electric power and shut down all of its equipment until such time as the interference problem is corrected. If such interference is not corrected within thirty (30) days after receipt of the aforesaid notice, Licensee shall remove its equipment from the Premises within an additional ten (10) day period. Licensor shall not be liable to Licensee for any interruption of service of Licensee unless caused by Licensor or for interference with the operation of Licensee's equipment unless caused by Licensor.
- B. Notwithstanding the foregoing, in the event that said interference interferes with Licensor's own equipment as configured and installed as of the installation of a Licensee's equipment and in Licensor's sole and reasonable judgment, said interference jeopardizes the safe operation of Licensor's operations, Licensee will be responsible for eliminating the interference within twenty-four (24) hours, upon becoming aware of such interference. Licensor reserves the right to disconnect power to the interfering equipment if Licensee is unable to eliminate said interference within twenty-four (24) hours of said notification.
- C. Licensee has satisfied itself and hereby represents and warrants to Licensor that, to the best of Licensee's knowledge, no such interference shall result to the currently existing systems (as configured) of Licensor or other pre-existing licensees or lessees at the Premises. Licensee agrees to indemnify, hold harmless and defend Licensor against any claim or damage, including reasonable attorney's fees, arising out of such interference.

- D. Licensee shall be responsible for performing and providing documentation to the Licensor for all engineering studies to ensure that the placement of its equipment at the Premises will not cause interference with any existing equipment (as configured) placed there by Licensor and/or any other pre-existing licensees or lessees.
- E. It is emphasized that the primary use of the Premises is intended to include future and presently unknown Licensor uses, the integrity and security of which shall in no way be compromised by the Licensee. If during the Term of the License, Licensor's present or future operations requires installation of additional telecommunications equipment adjacent to the Premises, Licensor agrees to take all reasonable steps necessary not to affect or interfere with Licensee's right hereunder. If, however, such interference occurs despite the best efforts of both Licensor and Licensee, the Licensor's operational need shall prevail and Licensee shall be required to modify or remove their interfering equipment.
- F. Excepting pre-existing equipment located on the Premises prior to the date of this License, Licensor shall not allow any use of the Property which interferes with Licensee's use of the Premises. If such interference occurs, Licensor shall promptly correct such interference within forty-eight (48) hours of Licensor's receipt of written notice from Licensee.

9. Taxes.

Licensee shall pay all taxes assessed against Licensee's Facilities. Pursuant to California Revenue and Taxation Code section 107.6, Licensee is notified that the property interest acquired by Licensee in the Premises under this License may be subject to property taxation as a possessory interest in real property, and Licensee may be subject to the payments of property taxes levied on that interest.

10. Termination.

This License shall not be revoked or terminated during the Term or any Renewal Term except as expressly stated in this License. This License may be terminated on thirty (30) days prior written notice as follows:

- A. by either party upon a default of any covenant, condition, or term hereof by the other party, which default is not cured within sixty (60) days of receipt of written notice of default, provided that if such default is curable, but not curable within such sixty (60) day period, then within such period of time as is reasonably necessary to accomplish such cure (in order to avail itself of this time period in excess of sixty (60) days, the defaulting party must send to the other party, within the sixty (60) day period, a written plan to cure the default, which is reasonably acceptable to the other party, and the defaulting party diligently commences and continues performance of such cure to completion according to the written plan).

- B. by Licensee if it does not obtain or maintain licenses, permits or other approvals necessary to the construction or operation of Licensee's Facilities; however, Licensee shall act with due diligence to obtain and maintain such agreements, licenses, permits, and other approvals;
- C. by Licensee if Licensee is unable to occupy or utilize the Premises due to ruling or directive of the Federal Communications Commission ("FCC") or other governmental or regulatory agency, including, but not limited to, a take back of channels or change in frequencies;
- D. by Licensee if Licensee determines that the Premises are not appropriate for its operations for economic, environmental or technological reasons, including without limitation, signal strength or interference; or
- E. by Licensee for any reason or for no reason provided Licensee delivers written notice of termination to Licensor prior to the Commencement Date.
- F. In the event of a termination of this License, by Licensee if Licensee determines that the Premises are not appropriate for its operations for economic, environmental or technological reasons, including without limitation, signal strength or interference which occurs at any time within the initial Term of this License, Licensee shall pay to Licensor as consideration of such early termination of fee equal to three (3) months of the then current Rent. Such fee shall be paid within thirty (30) days of the effective date of termination of this License.
- G. In the event of a termination of this License for any cause in any term after the initial five (5) year Term, except default and failure to cure by Licensor, Licensee shall not receive a refund of any rental amounts paid in advance to Licensor.

11. Condemnation.

If a condemning authority takes all of Licensor's Property, or a portion which in Licensee's opinion is sufficient to render the Premises unsuitable for Licensee's use, then this License shall terminate as of the date when possession is delivered to the condemning authority. In any condemnation proceeding each party shall be entitled to make a claim against the condemning authority for just compensation (which for Licensee shall include the value of Licensee's Facilities, prepaid rent, and any other amounts recoverable under condemnation law). Sale of all or part of the Premises to a purchaser with the power of eminent domain in the face of the exercise of its power of eminent domain shall be treated as a taking by a condemning authority.

12. Insurance

- A. Licensee shall maintain in full force and effect, at no expense to Licensor, the following insurance policies:
1. A commercial general liability insurance policy in the minimum amount of five million (\$5,000,000) dollars per occurrence for death, bodily injury, personal injury, or property damage and five million (\$5,000,000) in the aggregate;
 2. An automobile liability (owned, non-owned, and hired vehicles) insurance policy in the minimum amount of one million (\$1,000,000) dollars per occurrence;
- B. The insurance coverage required of the Licensee by section 12 shall also meet the following requirements:
1. The insurance shall be primary with respect to any insurance or coverage maintained by Licensor and shall not call upon Licensor insurance or coverage for any contribution.
 2. The insurance policies shall include contractual liability and personal injury;
 3. The insurance policies shall include the City of Moreno Valley, the Community Redevelopment Agency of the City of Moreno Valley (RDA), and the Moreno Valley Community Services District (CSD), its officers, agents, employees, and volunteers, as additionally insureds under the policies; and shall provide coverage for the following:

Solely as respect to work done by or on behalf of the named insured for the City of Moreno Valley, it is agreed that the City of Moreno Valley, the Community Redevelopment Agency of the City of Moreno Valley (RDA), and the Moreno Valley Community Services District (CSD), its officers, employees and agents, are added as additional insured under this policy and the coverage provided hereunder shall be primary insurance and not contributing with any other insurance available to the City of Moreno Valley, California, the Community Redevelopment Agency of the City of Moreno Valley, and the Moreno Valley Community Services District, its officers, employees and agents; under any third party liability policy.

It is further agreed that the other insurance provision(s) of the policy are amended to conform therewith

(Note: Form CG 201010 93)

4. Licensee shall provide to Licensor's Risk Manager, (a) Certificates of Insurance evidencing the insurance coverage required herein;
5. The insurance policies shall provide that the insurance carrier shall not cancel, terminate or otherwise materially modify the terms and conditions of said insurance policies except upon thirty (30) days written notice to Licensor's Risk Manager;
6. If the insurance is written on a Claims Made Form, then, following termination of this License, said insurance coverage shall survive for a period of not less than five (5) years;
7. The insurance policies shall provide for a retroactive date of the placement of Licensee's Facilities coinciding with the effective date of this License;
8. The certificate of insurance shall be approved as to form and sufficiency by the Licensor's Risk Manager and the Licensor Attorney.

C. If it employs any person, Licensee shall maintain worker's compensation and employer's liability insurance, as required by the State Labor Code and other applicable laws and regulations.

13. Successors and assigns.

Licensee may assign this License at any time subject to amending the Conditional Use Permit, and upon written notice to and approval of Licensor, which approval shall not be unreasonably withheld, conditioned or delayed, provided, however, Licensee shall have the right to sublease or assign its rights under this License without consent of Licensor, (i) to any of its partners, members, subsidiaries, affiliates or successor legal entities, (ii) to any entity acquiring substantially all of the assets of Licensee in the geographic region the Premises are located, or (iii) to any entity in connection with any financing, loan, security interest, pledge, or mortgage of Licensee's property. This License shall inure to the benefit of and be binding upon the heirs, successors and assigns of the parties.

14. Environmental Indemnification; Hazardous Substances.

A. Licensee hereby represents, warrants, covenants and agrees to and with Licensor that all of Licensee's operations or activities upon, or any use or occupancy of the Property by Licensee, or any portion thereof, by Licensee, shall be in all respects in compliance with all state, federal and local laws and regulations governing or in any way relating to the generation, handling, manufacturing, treatment, storage, use,

transportation, spillage, leakage, dumping, discharge, or disposal (whether legal or illegal, accidental or intentional) of any Hazardous Substance (as defined below).

- B. If any investigation or monitoring of site conditions or any clean-up, containment, restoration, removal or other remedial work (collectively, the "Remedial Work") is required under any applicable federal, state or local law or regulation, by any judicial order, or by any governmental entity due to any Hazardous Substances brought on to or generated on the Property by Licensee, Licensee shall perform or cause to be performed the Remedial Work in compliance with such law, regulation, or order. All costs and expenses of such Remedial Work shall be paid by Licensee including, without limitation, all charges of Licensee's contractors, consultants and engineers and Licensor's reasonable attorney, architect's and/or consultant's fees and costs incurred in connection with monitoring or review of such Remedial Work. In the event Licensee shall fail to timely commence, or cause to be commenced, or fail to diligently prosecute to completion, such Remedial Work, Licensor may, but shall not be required to, cause such Remedial Work to be performed, and all reasonable costs and expenses thereof, or incurred in connection therewith, shall be reimbursed to Licensor.
- C. "Hazardous Substances" shall include without limitation:
1. Those substances included within the definitions of "hazardous substances," "hazardous materials," "toxic substances," or "solid waste" in the Comprehensive Environmental Response Compensation and Liability Act of 1980 (42 U.S.C. § 9601 et seq.) ("CERCLA"), as amended by Superfund Amendments and Reauthorization Act of 1986 (Pub. L. 99-499 100 Stat. 1613) ("SARA"), the Resource Conservation and Recovery Act of 1976 (42 U.S.C. § 6901 et seq.) ("RCRA"), and the Hazardous Materials Transportation Act, 49 U.S.C. § 1801 et seq., and in the regulations promulgated pursuant to said laws, all as may be amended from time to time;
 2. Those substances listed in the United States Department of Transportation Table (49 CFR 172.101 and amendments thereto) or by the Environmental Protection Agency (or any successor agency) as hazardous substances (40 CFR Part 30, and as may be amended from time to time);
 3. Any material, waste or substance which is petroleum, asbestos, polychlorinated biphenyls, designated as a "hazardous substance" pursuant to Section 311 of the Clean Water Act, 33 U.S.C. 1251 et seq. (33 U.S.C. § 1321) or listed pursuant to Section 307 of the Clean Water Act (33 U.S.C. § 1317); or radioactive materials; and such other substances, materials, and wastes which are or become regulated as hazardous or toxic under applicable local, state, or

federal law, or the United States government, or which are classified as hazardous or toxic under federal, state, or local laws or regulations.

4. Licenser and Licensee hereby confirm and agree that Licensee shall have no responsibility for any Hazardous Materials or Hazardous Substances which may exist in, on or under the Property or the Premises (i) prior to the Commencement Date, or (ii) after the Commencement Date, which may have been brought on to or generated on the Property by parties other than Licensee.

15. Indemnity and Mutual Release.

Licenser and Licensee each indemnifies the other against and holds the other harmless from any and all costs (including reasonable attorney's fees) and claims of liability or loss to the extent arising from the ownership, use and/or occupancy of the Licenser's Property or Premises by the indemnifying party. This indemnity does not apply to any claims arising from the negligence or intentional misconduct of the indemnified party, breach of this License by the indemnified party, or violation of law by the indemnified party. The indemnity obligations under this Section will survive the termination of this License.

16. Attorneys' fees; Litigation costs.

- A. If any action at law or in equity is brought to recover any Rent or other sums under this License, or for or on account of any breach of or to enforce or interpret any of the covenants, terms, or conditions of this License, or for the recovery of the possession of the Premises, the prevailing party shall be entitled to reasonable attorneys' fees, costs and other expenses, in addition to any other relief to which such party may be entitled to the extent award by a court of law.
- B. Whenever provision is made in this License for the payment of attorney's fees, such fees shall be payable whether the legal services are rendered by a salaried employee for the party or by independent counsel and shall include such fees as are incurred in connection with any pretrial proceeding, trial or appeal of the action.
- C. Any award of damages following judicial remedy or arbitration as a result of the breach of this License or any of its provisions shall include an award of prejudgment interest from the date of the breach at the lesser of (i) the maximum amount of interest allowed by law or (ii) Ten Percent (10%).

17. Waiver of Incidental and Consequential Damages.

Neither party will assert any claim whatsoever against the other party for loss of anticipatory profits or any other indirect, special, incidental or consequential damages incurred as a result of the construction, installation, operation,

maintenance, or replacement of personal property owned by either party, or Licensor's or Licensee's use of the Premises or Licensor's Property, including any and all losses incurred as a result of Licensor's or Licensee's actions or defaults.

18. Miscellaneous.

A. Severability. If any provision of the License is invalid or unenforceable with respect to any party, the remainder of this License or the application of such provision to persons other than those as to whom it is held invalid or unenforceable, shall not be affected and each provision of this License shall be valid and enforceable to the fullest extent permitted by law.

B. Notices. Any notice or demand required to be given herein shall be made by certified or registered mail, return receipt requested, or reliable overnight mail to the address of the respective parties set forth below:

City:

City Manager
City of Moreno Valley
14177 Frederick Street
Moreno Valley, CA 92552-0805

Licensee:

Cingular Wireless
Attn: Network Real Estate
Administration
6100 Atlantic Boulevard
Norcross, Georgia 30071

A copy to be sent to:

City Engineer
Department of Public Works
City of Moreno Valley
14177 Frederick Street
Moreno Valley, CA 92552-0805

Re: Cell Site: RS0029-01
Site Name: Weston

With a copy concurrently to:

Cingular Wireless
Attn: Legal Department
5601 Legacy Drive, Bldg. A
MS: A-3
Plano, Texas 75024

Re: Cell Site:RS0029-01

Site Name: Weston

C. Choice of Law. This License shall be governed under the laws of the State of California and applicable Federal law.

D. Survival of Terms. Terms and conditions of this License which by their sense and context survive the termination, cancellation or expiration of this License will so survive.

E. Entire Agreement. The terms of this License (including the Exhibits, all of which are hereby incorporated by reference) are intended by the parties as the final expression of their agreement with respect to such terms. The

- parties further intend that this License constitutes the complete and exclusive statement of its terms and no extrinsic evidence whatsoever may be introduced in any proceeding, involving this License. The language in all parts of this License will in all cases be construed as a whole and in accordance with its fair meaning and not construed for or against either party.
- F. Amendments and Modifications. No amendments, modification or supplement, including those by custom, usage of trade, or course of dealing, of any provisions of this License shall be binding on any of the parties unless it is in writing and signed by the parties in interest at the time of the modification. No oral order, objection, claim, or notice by either party to the other shall affect or modify any of the terms or obligations contained in the License.
- G. Venue. At Licensor's option, any action by any party to this License shall be brought in the appropriate court of competent jurisdiction within the County of Riverside, notwithstanding any other provision of law which may provide that such action may be brought in some other location.
- H. Waiver. Failure by a party to insist upon the strict performance of any of the provisions of this License by the other party, or the failure by a party to exercise its rights upon the default of the other party shall not constitute a waiver of such party's right to insist and demand strict compliance by the other party with the terms of this License thereafter.

IN WITNESS WHEREOF, Licensor and Licensee have executed this Telecommunications License Agreement as of the date and year signed by Licensor.

Licensor:
City of Moreno Valley

Licensee:
New Cingular Wireless PCS, LLC,
a Delaware limited liability
company

BY: [Signature]
Mayor

BY: [Signature]

DATE: August 8, 2008

TITLE: Site Development Manager
(President or Vice President)

BY: _____

TITLE: _____
(Corporate Secretary)

ATTEST:
[Signature]
City Clerk

APPROVED AS TO LEGAL FORM:
[Signature]
City Attorney

DATE: 7 AUGUST 2008

- Enclosures: Exhibit "A" – Legal Description of City's Property
- Exhibit "B" – Description of Premises, Licensee's Facilities,
Incorporation of Plans by Reference
- Exhibit "C" – Conditional Use Permit and Conditions of Approval

Attachment: Telecommunications License Executed Agreement Cingular - Weston Park (5839 : First Amendment with New Cingular Wireless

EXHIBIT A

LEGAL DESCRIPTION OF CITY'S PROPERTY

Licensor's Property of which Premises are a part is legally described as follows:

The land referred to herein is situated in the State of California,
 County of Riverside, described as follows:
 Those portions of Lots 4 and 5 in Block 66 and that portion of
 Dracaea Avenue, as shown by Map No. 1 of Bear Valley and Alessandro Development Company on file in Book 11 of Maps, at
 Page 10 thereof, Records of San Bernardino County, California,
 more particularly described as follows:
 Commencing at the intersection of the centerline of said Dracaea Avenue with the center line of Lasselle Street as shown
 on said map;
 Thence North 00° 00' 10" East along said centerline of Lasselle
 Street, a distance of 55.00 feet to a point therein;
 Thence South 89° 59' 50" East, a distance of 50.00 feet for the
 True Point of Beginning, said point being in a line parallel
 with and distant 50.00 feet Easterly, measured at a right angle, from said centerline of Lasselle Street;
 Thence North 00° 00' 10" East along said parallel line, a distance of 577.00 feet to a point therein.
 Thence North 42° 37' 01" East, a distance of 33.97 feet to a
 point in a non tangent curve, concave to the Northwest, having a
 radius of 328.00 feet, the radial line at said point bears South 00° 00' 10" West;
 Thence Northeasterly along said curve, to the left, through a
 central angle of 14° 15' 48", an arc distance of 81.65 feet to
 the end thereof;
 Thence North 75° 44' 22" East, a distance of 16.04 feet;
 Thence South 60° 42' 07" East, a distance of 20.67 feet to
 a

point in a nontangent curve, concave to the Northeast,
 having a
 radius of 840.00 feet, the radial line at said point bears
 South 72° 51' 24" West;
 Thence Southeasterly along said curve, to the left, through
 a
 central angle of 23° 47' 19", an arc distance of 348.76
 feet to
 a point of reverse curvature with a curve, concave to the
 Southwest, having a radius of 272.00 feet, the radial line
 at
 said point bears South 49° 04' 05" West;
 Thence Southeasterly along said last mentioned curve, to
 the right, through a central angle of 40° 55' 55", an arc
 distance
 of 194.32 feet to the end thereof;
 Thence South, a distance of 135.00 feet;
 Thence South 45° 00' 00" West, a distance of 21.21 feet to
 a
 point in a line parallel with and Northerly 30.00 feet,
 measured
 at a right angle, from said centerline of Dracaea Avenue;
 Thence West along said parallel line, a distance of 334.00
 feet;
 Thence North 42° 36' 30" West, a distance of 33.97 feet to
 the
 true point of beginning.
 End of Legal Description

EXHIBIT B

1. Description of Premises

PLANS TO BE INCORPORATED IN SIGNATURE AGREEMENT

2. Licensee's Facilities

3. Incorporation of Plans by Reference

Attachment: Telecommunications License Executed Agreement Cingular - Weston Park (5839 : First

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITY. NOTINGS IN THESE PLANS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

1. CALIFORNIA BUILDING CODE (CBC) 2001
2. CALIFORNIA ADMINISTRATIVE CODES (INCL. TITLES 24 AND 25) 2001
3. ANSI/AIA-222-P LIFE SAFETY CODE
4. NFPA-101-1997
5. CALIFORNIA ELECTRICAL CODE (CEC) 2004
6. CALIFORNIA ENERGY CODE 2008
7. CALIFORNIA MECHANICAL CODE (CMC) 2001
8. CALIFORNIA PLUMBING CODE (CPC) 2001
9. LOCAL ORDINANCES
10. CITY AND/OR COUNTY ORDINANCES
11. CALIFORNIA FIRE CODE (CFC) 2001

APPLICABLE CODE

LEGAL DESCRIPTION

THE PROPERTY SHOWN HEREON IS LOCATED IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THOSE PORTIONS OF LOTS 4 AND 5 IN BLOCK 66 AND THAT PORTION OF DRACABA AVENUE AS SHOWN BY MAP NO. 1 OF BEAR VALLEY AND ALESSANDRO DEVELOPMENT COMPANY ON FILE IN BOOK 11 OF MAPS, AT PAGE 10 THEREON; RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE CENTERLINE OF SAID DRACABA AVENUE WITH THE CENTER LINE OF LASSELLE STREET AS SHOWN ON SAID MAP, THENCE NORTH 00°00'00" EAST ALONG SAID CENTERLINE OF LASSELLE STREET, A DISTANCE OF 55.00 FEET TO A POINT THEREIN; THENCE SOUTH 67°00'00" EAST, A DISTANCE OF 80.00 FEET FROM THE TRUE POINT OF BEGINNING, SAID POINT BEING IN A LINE PARALLEL WITH AND DISTANT 50.00 FEET EASTERLY, MEASURED AT A RIGHT ANGLE, FROM SAID CENTERLINE OF LASSELLE STREET, THENCE NORTH 00°00'00" EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 57.00 FEET TO A POINT THEREIN; THENCE NORTH 42°57'00" EAST, A DISTANCE OF 55.41 FEET TO A POINT IN A NONTANGENT CURVE, CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 325.00 FEET; THE RADIAL LINE AT SAID POINT BEARS SOUTH 00°00'00" WEST, THENCE NORTHEASTERLY ALONG SAID CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 14°54'40", AN ARC DISTANCE OF 81.68 FEET TO THE END THEREOF; THENCE NORTH 75°44'22" EAST, A DISTANCE OF 18.04 FEET TO A POINT IN A NONTANGENT CURVE, CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 845.00 FEET; THE RADIAL LINE AT SAID POINT BEARS SOUTH 72°51'24" WEST, THENCE SOUTHEASTERLY ALONG SAID CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 22°41'11", AN ARC DISTANCE OF 548.70 FEET TO A POINT OF REVERSE CURVATURE WITH A CURVE, CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 272.00 FEET; THE RADIAL LINE AT SAID POINT BEARS SOUTH 44°04'00" WEST, THENCE SOUTHEASTERLY ALONG SAID LAST MENTIONED CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 42°38'55", AN ARC DISTANCE OF 144.82 FEET TO THE END THEREOF; THENCE SOUTH, A DISTANCE OF 155.00 FEET; THENCE SOUTH 49°00'00" WEST, A DISTANCE OF 31.51 FEET TO A POINT IN A LINE PARALLEL WITH AND NORTHERLY 50.00 FEET, MEASURED AT A RIGHT ANGLE, FROM SAID CENTERLINE OF DRACABA AVENUE; THENCE WEST ALONG SAID PARALLEL LINE, A DISTANCE OF 59.00 FEET; THENCE NORTH 42°56'50" WEST, A DISTANCE OF 50.47 FEET TO THE TRUE POINT OF BEGINNING.

UTILITY PURVEYORS

WATER: N/A
SEWER: N/A
ELECTRIC: SOUTHERN CALIFORNIA EDISON
GAS: N/A
TELEPHONE: N/A

CUSTOMER CONTACT ELECTRICAL SERVICE SCE:
JAKE MCKELVEY - PARSONS
MOBILE: (714) 474-6500
1972 MACARTHUR BOULEVARD, SUITE 240
IRVINE, CA 92612

TELCO SERVICE PROVIDER:
JIM GORIN - CINGULAR
OFFICE: (910) 285-3008
12600 PARK PLAZA DRIVE
CERRITOS, CA 94703



**RS0029-01-P5-B1
MONOPINE STRUCTURE
WESTON**

(ESTIMATE ONLY, FIELD VERIFY)

RF DATA TABLE

AZIMUTH	SECTOR	ANT. TYPE	ANT. LENGTH	TIP HEIGHT	DOWNTILT	CABLE LENGTH	CABLE DIAMETER
100°	A	SECTOR ANTENNA	6'-0"	± 61'-0"	0°	± 90'-0"	7/8"
220°	B	SECTOR ANTENNA	6'-0"	± 61'-0"	0°	± 90'-0"	7/8"
340°	C	SECTOR ANTENNA	6'-0"	± 61'-0"	0°	± 90'-0"	7/8"

PROJECT TEAM

OWNER:
CITY OF MORENO VALLEY
Tony Hoffmann
Parks Projects Coordinator
Parks and Community Services Department
City of Moreno Valley
14275 Frederick St
Moreno Valley, CA 92885
PH: 951-419-5165
FAX: 951-419-5164
FAX2: 951-419-5174
email: tonyh@moval.org

ARCHITECT:
HCID ARCHITECTS
290 E. RINGGOLD ST., SUITE 100
CORONA, CALIFORNIA 92701
CONTACT: DAN HINSON
(951) 571-2027

CLIENT'S REPRESENTATIVE:
ROBERT MCCORRICK
SITE ACQ. SPECIALIST
PARSONS
1972 MACARTHUR BOULEVARD
SUITE 240
IRVINE, CA 92612
(949) 841-0774

APPLICANT:
KATHI ORZEL
DIRECTOR OF DEPLOYMENT
CINGULAR WIRELESS
12600 PARK PLAZA DR, 5TH FLR.
CERRITOS, CA 94703
(415) 851-6514

STRUCTURAL:
NEXT STEP DESIGN INC.
2610 ENTERPRISE WAY, STE 400
LAKE FOREST, CA 92550
CONTACT: SCOTT BETANCOURT
(949) 218-0994

LANDSCAPE:
TM DAVID
2828 LITCHFIELD DR.
RIVERSIDE, CA 92506
PHONE: (951) 583-2456

PROJECT TRACKING

REVISIONS

INTER-OFFICE

Δ	DATE	ISSUED BY	DESCRIPTION
	3-11-06	-	100% CD REVIEW
	10-12-06	-	REVISED PER CLIENT COMMENTS
	11-1-06	-	REVISED PER CLIENT COMMENTS
	12-12-06	-	REVISED SITE ADDRESS

APPROVALS

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS. ALL CONSTRUCTION DOCUMENTS ARE SUBJECT TO REVISION BY THE LOCAL BUILDING DEPARTMENT AND ANY CHANGES AND MODIFICATIONS THEY MAY IMPOSE.

LAND OWNER	PRINT NAME	SIGNATURE	DATE
MANAGER			
RF MANAGER			
SITE ACQUISITION			
PLANNING			
CONSTRUCTION			
INTERCONNECT			
UTILITY			

APPROVAL AGENCIES

Δ	DATE	ISSUED BY	CITY	DESCRIPTION
	11-24-07	CITY	PLAN CHECK COMMENTS	
	01-04-08	CITY	PLAN CHECK COMMENTS	

SHEET INDEX

T-1	TITLE SHEET, PROJECT DATA, LEGAL DESCRIPTION AND VICINITY MAP
0-1	CONDITIONS OF APPROVAL
0-2	CONDITIONS OF APPROVAL
C-1	SITE SURVEY DATA AND EXISTING SITE PLAN
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A-2	ENLARGED AREA PLAN
A-3	EQUIPMENT ROOM FLOOR PLAN AND ROOF PLAN
A-4	EXTERIOR ELEVATIONS (NORTH AND EAST)
A-5	EXTERIOR ELEVATIONS (SOUTH AND WEST)
A-6	ARCHITECTURAL DETAILS
A-7	ANTENNA SIGNAGE
M-1	MECHANICAL FLOOR PLAN NOTES AND SPECIFICATIONS
M-2	MECHANICAL DETAILS
S-1	CONSTRUCTION NOTES
S-2	CONSTRUCTION PLAN AND DETAILS
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E-1	ELECTRICAL SPECIFICATIONS AND GENERAL NOTES
E-2	SINGLE LINE DIAGRAM PANEL SCHEDULE AND ELECTRICAL SITE PLAN
E-3	LIGHTING PLAN, POWER PLAN, ALARM PLAN AND LIGHT FIXTURE SCHEDULE
E-4	GROUND WIRING DIAGRAM, GROUNDING NOTES AND GROUNDING NOTES AND GROUNDING PLAN
E-5	ELECTRICAL DETAILS
L-1	IRRIGATION PLAN
L-2	PLANTING PLAN
L-3	DETAILS

PROJECT DATA

SCOPE OF WORK:

THIS IS AN UNBANNED TELECOMMUNICATIONS FACILITY FOR CINGULAR WIRELESS.

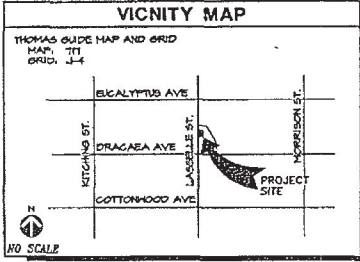
WORK INCLUDES THE INSTALLATION OF CINGULAR WIRELESS 14'-0"X12'-0"X12'-0" HIGH STATE APPROVED MASONRY BLOCK EQUIPMENT SHELTER, (2) GPS ANTENNAS MOUNTED ON MASONRY BLOCK WALL, A NEW ELECTRICAL SERVICE AND A NEW TELCO PANEL, ALL MOUNTED ON A NEW CONCRETE SLAB ON GRADE.

INSTALLATION OF (3) SECTOR (4) ANTENNAS PER SECTOR, (2) DIVERSER, (2) DITCH, ALL MOUNTED ON A NEW 61'-0" HIGH MONOPINE.

INSTALLATION OF COAXIAL CABLE RUNS FROM MASONRY BLOCK SHELTER TO ANTENNAS, NEW ELECTRICAL AND TELEPHONE SERVICE RUN TO MASONRY BLOCK SHELTER.

APN: 471-451-001
ZONING: OS
ADJACENT ZONING:
NORTH: RS
SOUTH: R20
EAST: RS
WEST: RS

EXISTING USE: CITY PARK
PROPOSED USE: CITY PARK/COMMUNICATIONS
TOTAL NET LEASE AREA: 1250 SQ. FT.
OCCUPANCY: B
ADA COMPLIANCE: N/A (UNBANNED TELECOMMUNICATION FACILITY)
CONSTRUCTION TYPE: 30N RATED
NO SPRINKLERED 0) STORIES



PROPRIETARY INFORMATION
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CLIENT
cingular
WIRELESS
12600 PARK PLAZA DR.
CERRITOS, CA 94703

CLIENT REPRESENTATIVE
PARSONS
2201 DUPONT DRIVE, SUITE 200
IRVINE, CA 92612
PHONE: (949) 477-1221
FAX: (949) 843-6887

ARCHITECT
HCID CONSULTING & DESIGN
ARCHITECTS INC.
250 E. RINGGOLD STREET
SUITE 100
CORONA, CALIFORNIA 92701
PHONE: 951-571-2027
FAX: 951-571-9424

JOB NUMBER: 05048
ISSUED BY: E.B.
DATE: 01-14-08

CLIENT REVIEW
SHEET NUMBER: RS0029-01-P5-B1

CITY OF MORENO VALLEY
NO. 0114
ISSUED BY: E.B.
DATE: 01-14-08
SHEET ADDRESS

1970 LASSELLE ST.
MORENO VALLEY, CA 92553

APPROVAL TYPE
BUILDING PERMIT
SHEET TITLE

TITLE SHEET, PROJECT DATA, LEGAL DESCRIPTION, AND VICINITY MAP
SHEET NUMBER
T-1

CAD FILE: 245847.D

CITY PROJECTS NUMBER (PACS-046)

**Community Development Department
Planning Division**

1477 Parkview Ave
PO Box 3305
Moreno Valley, CA 92553
Tel: 951-261-3100
Fax: 951-261-3114

December 1, 2008

Robin Elias-Berg
Planner
2221 Dupont Drive, Suite 200
Irvine, CA 92612

Subject: Final Conditions of Approval for PA05-0149 - Conditional Use Permit
Location: Weston Park, on the east side of Lasselle Street between
Dussane Avenue and Ute Drive

Dear Mr. Elias-Berg:

Enclosed are the Final Conditions of Approval for PA05-0149. A conditional use permit for a new wireless telecommunication facility for Cingular Wireless.

The Planning Commission of the City of Moreno Valley approved the project on November 20, 2008, subject to the enclosed conditions of approval. This approval is final unless an appeal is filed with the City Council within 10 calendar days of the approval date. If an appeal is not filed, the conditionally approved conditional use permit will expire on November 20, 2009, unless extended as provided by City Ordinance.

If you have any questions, contact the Planning Division at (951) 415-3300.

Sincerely,
Kathleen Dale
Kathleen Dale
Assistant Planner

For copies:
Terry Hoffmann, City of Moreno Valley Parks and Recreation
Case File

**CITY OF MORENO VALLEY
PLANNING DIVISION
EXHIBIT A TO RESOLUTION 2008-40
FINAL CONDITIONS OF APPROVAL FOR PA05-0149
CONDITIONAL USE PERMIT FOR A WIRELESS COMMUNICATIONS FACILITY
ASSESSOR'S PARCEL NUMBER: 477-451-001**

APPROVAL DATE: November 20, 2008
EXPIRATION DATE: November 20, 2009

This set of conditions shall include conditions from:

- Planning (P), including Building and Safety (D)
- Fire Prevention Bureau (FP)
- Parks & Recreation (PR)

Note: All Special conditions are in bold lettering. All other conditions are standard to all or most development projects.

**COMMUNITY DEVELOPMENT DEPARTMENT
Planning Division**

P1. Conditional Use Permit PA05-0149 is for a new telecommunication facility to be located within Weston Park along the Lasselle Street frontage, west of the existing two-story building and south of the existing playground and picnic area. The proposed tower is 65 feet in height and will be disguised as a pine tree. The unmounted equipment shelter and tower will be located within an approximately 1,250 square foot lease area.

P2. All ground-mounted equipment must be within an enclosed building or screened from the public right-of-way with a solid 8-foot decorative block wall.

P3. Perimeter planting of shrubs shall be provided where the proposed improvements are visible from Lasselle Street.

Doing Business for Conditional Use Administration at Beginning of Worked Condition

By: Mayor/Commissioner: [Signature] By: Planning Director: [Signature] By: City Clerk: [Signature]

Approved: [Signature] Approved: [Signature] Approved: [Signature]

City of Moreno Valley City of Moreno Valley City of Moreno Valley

**PLANNING DIVISION
FINAL CONDITIONS OF APPROVAL FOR PA05-0149
CONDITIONAL USE PERMIT - WESTON PARK MONOPINE
PAGE 2 OF 11**

P4. All utility and coaxial connections to the equipment building and to the monopine shall be underground.

P4. Monopine design shall incorporate:

- branch density of 20 to 25 branches per 50 linear feet of height (first branches no more than 12 feet above ground level per Condition PRA);
- back-support cladding on trunk and branches (Cell Trees, Inc. material as presented for approval, or equivalent, subject to approval by the Planning Division);
- strategic placement of branches along the pole, with varying length and orientation for more natural appearance;
- readable bushes shall be of material, texture and density providing natural appearance (Cell Trees, Inc. material as presented for approval, or equivalent subject to approval by the Planning Division);
- canopy breadth at the lower-most branches of fifty percent of the overall height; the replicate typical canopy configurations of typical mature natural specimens;
- canopy breadth at the height of the array to envelope the satellite dish and antenna array.

P5. The physical appearance of the stealth monopine shall be maintained for the duration of facility operation, in accordance with the approved plans.

P6. There shall be no signage or graphics affixed to the equipment, equipment building, or fence, except for public safety warnings.

P7. The facility shall provide for co-location of other equipment/utilities with review and approval by the Community Development Director. The design of any co-location shall be consistent with the conditions of approval for the installation.

P8. No barbed wire or razor wire shall be used for the facility.

P9. At such time as the facility ceases to operate, the tower shall be removed. The removal shall occur within 90 days of cessation of the site.

P10. (DP) Prior to the issuance of building permits, final landscaping and irrigation plans shall be submitted to the Community Development Department Planning Division for review and approval. The plans shall be prepared in accordance with the City's Landscape Requirements (MGC 8.17).

**PLANNING DIVISION
FINAL CONDITIONS OF APPROVAL FOR PA05-0149
CONDITIONAL USE PERMIT - WESTON PARK MONOPINE
PAGE 3 OF 11**

P11. This Conditional Use Permit may be revoked in accordance with provisions of the Municipal Code, (MC 9.02.2007)

P12. This approval shall comply with all applicable requirements of the City of Moreno Valley Municipal Code.

P13. This approval shall expire three (3) years after the approval date of Conditional Use Permit PA05-0149, unless extended or extended to proceed for by the City of Moreno Valley Municipal Code; extension is shall become null and void and of no effect whatsoever. Use means the beginning of substantial construction contemplated by this approval within the three-year period, which is interpreted to mean completion, or the beginning of substantial utilization contemplated by this approval, (MC 9.02.2007)

P14. All landscaped areas shall be maintained in a healthy and thriving condition free from weeds, trash and debris. (MC 9.02.036)

P15. The site shall be developed in accordance with the approved plans on file in the Community Development Department - Planning Division, the Municipal Code regulations, the Landscape Requirements, and General Plan, and the conditions contained herein. Prior to any use of the project site or business activity being commenced thereon, all Conditions of Approval shall be completed to the satisfaction of the City Planning Director or designee.

P16. (DP) Prior to issuance of building permits, the applicant shall obtain a Land Use Clearance stamp from the Community Development Department - Planning Division on the final plan check set.

P17. (CO) Prior to issuance of a building that, the applicant shall contact the Planning Division for a final inspection.

Building and Safety Division

B1. This project shall comply with the current California Codes, (CBC, CEC, CMC and the CPC) as well as City ordinances. All new projects shall provide a soft report as well. Plans shall be submitted to the Building and Safety Division under separate submittal.

**PLANNING DIVISION
FINAL CONDITIONS OF APPROVAL FOR PA05-0149
CONDITIONAL USE PERMIT - WESTON PARK MONOPINE
PAGE 4 OF 11**

FIRE PREVENTION BUREAU

Standard Conditions:

With respect to the conditions of approval for PA05-0149, the following fire protection measures shall be provided in accordance with Moreno Valley City Ordinance and/or recognized fire protection standards:

F1. Fuel fire and fire safety conditions will be addressed when the Fire Prevention Bureau reviews building plans. These conditions will be based on occupancy and use and Uniform Building Code (UBC), California Fire Code (CFC), and related codes which are in force at the time of building plan submittal.

Special Conditions:

F2. (DP) Prior to issuance of building permit, applicant shall provide written verification that fire systems they will be installing will not interfere with fire or Police Communication Systems.

F3. Anytime after installation, any interruption of fire, Police or other public emergency communication systems due to the purport's system, the purveyor shall cease to operate until such conditions can be made to purveyor's system.

F4. All combustible vegetation, cut or uncut weeds, grass, vines and other vegetation shall be kept clear within thirty feet of all structures, fences and property lines (CFC 1103.24)

F5. (CO) Prior to the issuance of a Certificate of Occupancy or building final, the developer/applicant shall be responsible for obtaining permits for the storage of combustible liquids, flammable liquids or any other hazardous materials from both the County Health Department and the Prevention Bureau. (CFC 7501.2 and 8301.3)

PARKS AND RECREATION DEPARTMENT

P11. All equipment utilized for telecommunication equipment shall be reviewed and approved by Parks and Recreation. Plans, and Department, Fire Services, and Building and Safety Division prior to approval and issuance of any permits. Parks and Recreation requires submittal on all materials and shop drawings on all installation, prior to obtaining these permits. All materials shall comply with the

**PLANNING DIVISION
FINAL CONDITIONS OF APPROVAL FOR PA05-0149
CONDITIONAL USE PERMIT - WESTON PARK MONOPINE
PAGE 5 OF 11**

Parks and Recreation Park Specifications, Telecommunication Site Specifications, City Standard Plans, California Building Code, and "Greenways" for Public Works Construction.

PR2. At the end of the agreed upon lease or license term/term from applicant, attachment or option of contract the Licensee may be required by the City or CSD to restore the site to its original condition or any part of. If required, the Licensee shall remove the items at no cost to the City.

PR3. At the discretion of Parks and Recreation, a Mono Pine shall be utilized to transmissive signal. The mono pine shall be canopy-less; branches layered beginning at 12' minimum, and canopy a mesh that closely resembles bark that is typical of pine trees. Within any single-family residential district, all commercial communication facility antennae shall be supported tower systems shall be setback from any property line a distance that is not less than the height of the antenna and tower system and not less than any setback required by any applicable fire and building codes. The Mono Pine will require a tubular metal fence around the base. Pine for Parks and Recreation standards. The Mono Pine will be integrated with other trees and shall not be located within a structure or fenced area by itself.

PR4. The fence area shall not extend beyond the covered building's edge, plus six feet for sidewalk and fencing. The building shall not be any larger than what is necessary to house the telecommunication equipment and the permit-terminated generator.

PR5. Temporary fencing shall be provided around the project site. It shall be at least 6 feet high, conform to Parks and Recreation standards, and approved by the Parks Projects Coordinator.

PR6. The design shall contain all conduit and conductors within their height of the pole (no exposed exterior conduit or wire will be allowed). The pole and conduct shall be designed for future expansion of panels. Two (2) additional conductors shall be incorporated into the base of the pole, capped and trimmed 10' south of the pole.

PR7. HVAC units shall be located within the building, with the exception of the condenser. AC condensers shall be mounted to the rear of the building and have a windproof enclosure cover. The cover shall be manufactured utilizing a 1/4" stainless steel framing material and stainless steel 9 gauge, 1" fluted mesh. The unit shall be sand blasted and powder coated steel.

PR8. Any proposed step down transformer to be located in the building and have proper ventilation.

PROPRIETARY INFORMATION
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CLIENT

cingular
WIRELESS

12000 PARK PLAZA DR
CERRITOS, CA 90703

CLIENT REPRESENTATIVE

PARSONS

2201 DUPONT DRIVE, SUITE 200
IRVINE, CA 92612
PHONE (949) 477-1251
FAX (949) 643-8057

ARCHITECT

HCGD
ARCHITECTS
INC.

230 E. RINCON STREET
SUITE 106
GARDENA, CALIFORNIA 90249
PHONE (424) 371-2097
FAX (424) 371-5424

JOB NUMBER: 05048 DRAWN BY: Q.C.
CREATED BY: G.B. DATE: 01-14-08
USED FOR: CLIENT REVIEW
SITE NUMBER: RS0029-01-P5-B1

CITY OF MORENO VALLEY
NO. 97116
NO. 01-14-08

SITE ADDRESS

1370 LASSELLE ST.
MORENO VALLEY, CA 92553

APPROVAL TYPE

BUILDING PERMIT

SHEET TITLE

CONDITIONS OF APPROVAL

SHEET NUMBER

G-1

CITY PROJECTS NUMBER (PA05-0149)

Attachment: Telecommunications License Executed Agreement Cingular - Weston Park (5839 : First

PLANNING DIVISION
FINAL CONDITIONS OF APPROVAL FOR P405-0149
CONDITIONAL USE PERMIT - WESTON PARK MONOPINE
PAGE 6 OF 11

- PR0. Any telephone service shall be located within the building. A separate entrance and wiring space is necessary.
- PR10. If a generator shall be utilized, it shall be an approved quiet type and located within the building, the building sound insulation, and properly ventilated. No temporary permits shall be located within the park anytime.
- PR11. Other than approved job mounted telecommunications devices, no other equipment shall be located inside of the building.
- PR12. Antenna mounted to the building shall have at least one pipe, bracket, hardware, and be secured by a full-length 14-gauge stainless steel cover.
- PR13. The building shall be constructed of concrete or steel structure block with matching masonry. All walls shall be 4'-0" ground with 2500 PSI concrete. The block size shall be nominal 8' x 4' x 16".
- PR14. Special inspections are required on all concrete, masonry, and roofing. These inspections shall be provided by a City Approved Inspector, at no cost to the City.
- PR15. The roof type shall be TPO (Max 35) from Tremco, or 300 452 9889. The color shall be specified by Parks and Recreation. The roof design shall be designed by Tremco. The waterproofing shall be one layer of Vulkem-Dimpled and one layer of 30 mil felt. The fascia shall be Douglas fir, the soffits shall be completely sealed with 1/2" exterior grade plywood. The fascia and soffit shall be completely covered with 1/2" exterior grade plywood with a sloped seam in the soffit. Roof penetrations shall be per item 1. to 12.
- PR16. Entrance doors in the lobby shall be solid doors. Specifications are as follows:
 - a. Steelcraft steel offices 1-1/4" x 8" door, 12-gauge stainless steel skin and 12-gauge stainless steel frame for exterior doors. Frames shall be painted.
 - b. Standard S.S. mortise type commercial hinge or
 - c. Hager House # 101168 S.S. security studs, non-combustible pin strip) are required.
 - d. Tremco # 1111C-650 exterior trim, ADA.
 - e. Trimco # 1061-3, 4x16, 630 push pin
 - f. Trimco # 1019-2, 4x16, 630 push pin
 - g. Tremco # 6500, bar woodgrain
 - h. Door closure, ION # P4041. Color to match finished door color
 - i. Threshold and door sweep, Porce bond. Color to match exterior door color.
 - j. Exterior door seal, Porce # 299. Color to match finished door color.

PLANNING DIVISION
FINAL CONDITIONS OF APPROVAL FOR P405-0149
CONDITIONAL USE PERMIT - WESTON PARK MONOPINE
PAGE 9 OF 11

- Safety for a schedule and notification requirements at 951.413.3350. Failure to schedule inspections will result in a stop work order and monetary penalty.
- PR32. All change orders shall be approved in writing from the Director of Parks and Recreation or the Designer, prior to construction.
- PR34. Security for the project shall be posted by the Licensee, prior to the issuance of building permits.
- PR35. The Licensee shall have an approved and signed Telecommunications License Agreement prior to the issuance of Building Permits.
- V336. All permits and fees are the responsibility of the Licensee.
- PR37. All Parks and Recreation Plans, Checking and Inspection fees shall be paid prior to the issuance of Building Permits.
- PR38. Turnovers: Three complete sets of As-Built plans, one As-Built/As-Built, and the project ACAD drawing on CD prior to Final Inspection.

SPECIFICATIONS

- Fence and Gate Specifications:**
- a. 1" X 3" X Schedule 40 posts. Spaced 8' (approximately)
 - b. 2" X 2" x 1/8" top and bottom rail.
 - c. 5" X 5" x 1/2" pickets with 1" angled extension @ 23" (rounded and stepped ends). Spacing not to exceed 4' between pickets.
 - d. All welding shall be complete on all sides of the metal and all weld removed.
 - e. The gate shall have an in-situ strength locking device, capable of withstanding two (2) periods for access by City and applicant.
 - f. The finished fence and gate is to be 7' in height @ fence with 4' angled support 22".
 - g. All fence posts shall have footings 12" diameter x 24" deep minimum. All end and gateposts shall be 12" x 8" deep. Concrete for footings shall be minimum 2500 PSI.
 - h. A City approved Knox Box model # 3281 shall be welded to a 3/16" steel locking plate and installed on the garrison. Knox Box operation will be available from City of Moreno Valley Fire Protection Bureau or Parks and Recreation.
 - i. All posts, rails, pickets, and related hardware to be hot dip galvanized after fabrication and coated after installation. See Plans Schedule.

PLANNING DIVISION
FINAL CONDITIONS OF APPROVAL FOR P405-0149
CONDITIONAL USE PERMIT - WESTON PARK MONOPINE
PAGE 7 OF 11

- k. Entire floor shall be painted per the "Paint Schedule". The color for doors and doorframes shall be determined by Parks and Recreation.
- PR17. A warning sign that will alert every ceiling shall be installed on the door of the building.
- PR18. All buildings shall be coated with an anti-graffiti coating. The specification shall be VITACROM COLORED COATING (3020), manufactured by Bihler, Inc. @ 626.331.2292. Pigmented coatings are available for masonry and timber. Stock stain resins are also Vitacrom's gift coating.
- PR19. All windows shall be constructed from 1/2-gauge stainless steel.
- PR20. All exterior lumber shall be #1 Western Douglas fir with radial less than 1/32" and not beedwood.
- PR21. All electrical conduits within the building and exterior of the building shall be rigid type (no PVC, no flexible). Conduits shall be a minimum of 1/2-gauge.
- PR22. Security signs shall be provided on the exterior of the building and be an approved type per the Park and Recreation Park Specifications page.
- PR23. If a part of access to the building is needed, the applicant shall be required to design and build access. If a utility access does not exist at the site, Required bond is typically a 4-inch thick steel reinforced (24 rebar @ 18" OC) concrete (5000-2500 PSI) slab. Parks and Recreation retain the right to change this specification depending on the site-specific application. Access shall comply with Title 24/ADA.
- PR24. All walk-in refrigerated units shall be located around the building. Units shall be 4" thick and slope with drainage away from the building. Units shall be Delta Colors Omaha Fan, Deep energy units at minimum 4000 BTU. All units shall be 1500-2000 for the "Cooler" or "Hot" units. Units shall be 4' x 4' x 4'. All units and accessories are not included, except color as specified by Parks and Recreation. A tubular steel fence is to be constructed on the outside perimeter of project for the Fence and Gate Specification. The fence shall be located within the concrete apron, with a one-foot setback from the edge of concrete.
- PR25. Five (5) Parks Plans, Plans Consultant, Plans Engineer or another PDR approved Plans specialist to match the Monopine with a minimum height of 25' shall be installed around the Monopine. The site shall be properly prepared for planting per City standards. The trees are to be set at the end of the project shall be warranted for 1-year from project acceptance.

PLANNING DIVISION
FINAL CONDITIONS OF APPROVAL FOR P405-0149
CONDITIONAL USE PERMIT - WESTON PARK MONOPINE
PAGE 10 OF 11

- Paint/Coatings Schedule:**
- a. Coating specification for wood surfaces shall be two coats of Behr® Protect Brown wood preservative and one coat of Behr® Primer, unless indicated otherwise by Parks and Recreation. All paint shall be coated with Vitacrom® HI 5012 Thermosealing Anti-Graffiti Coating, manufactured by Bihler, Inc., at 626.331.2292.
 - b. Coating specification for metal surfaces shall be glass dark brown for hidalgos, black, and any other exterior metal unless indicated otherwise by Parks and Recreation. All coatings shall be Vitacrom® Color Pigmented Thermosealing Coating for Metal, manufactured by Bihler, Inc. at 626.331.2292.
 - c. Coating specifications for masonry shall be Behr® masonry paint for exterior, unless indicated otherwise by Parks and Recreation. All coatings shall be Vitacrom® Color Pigmented Thermosealing Coating for Metal, manufactured by Bihler, Inc. at 626.331.2292.

PROTECTIVE COATINGS APPLICATION AND WORKMANSHIP:

- A. All surfaces not to be coated shall be protected during cleaning and coating operations. Any surfaces or material (columns, walkways, plants, etc.) that are damaged during the cleaning and/or coating operations shall be repaired or replaced at the contractor's expense.
- B. All surfaces shall be cleaned, degreased, and prepped in the paint manufacturer's specifications.
- C. Admixtures shall be applied uniformly by electrostatic coating unless approved by the Parks Project Coordinator in writing. If any thinning of the coating is necessary, it shall be done in accordance with the manufacturer's label directions. Paint additives are prohibited unless specified and approved by the coating manufacturer.
- D. Mechanical mixers, capable of thoroughly mixing the pigment with the paint shall be used according to the manufacturer's instructions. After thorough initial mechanical mixing, subsequent mix shall be hand mixed shall be done in accordance with good coating practices and the manufacturer's recommendations.
- E. No exterior coating shall be undertaken if all air surface temperature is below 50 degrees Fahrenheit, not brewed daily preceding or following rain, or wet, dew, etc.

PLANNING DIVISION
FINAL CONDITIONS OF APPROVAL FOR P405-0149
CONDITIONAL USE PERMIT - WESTON PARK MONOPINE
PAGE 8 OF 11

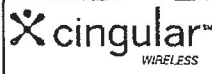
- PR26. Irrigation for the shrubs and trees is to be installed from the main irrigation line. The system to be coordinated with a Hunter 1555-70-66 solution ball valve, L500 1/2" RCP sensor irrigation controller with radio remote capability and handheld remote control unit, L500 1/2" RCP sensor, Painted EF BC PPS-D irrigation control valve, Schedule 40 PVC pipe, Rainbird 1801/1812 SAH PPS irrigation application, and Rainbird R508 tree emitter. A detailed specification and design shall be provided by the Licensee before project approval. A City Licensed Landscape Contractor shall perform all landscaping and irrigation.
- PR27. Current irrigation located within and surrounding the project shall be relocated to provide irrigation to the existing lot. Additional irrigation shall be added per the requirements of Parks and Recreation. A licensed landscape contractor (0-27) shall perform all landscaping and irrigation work.
- PR28. The contractor is responsible for any and all damage to turf, concrete, plants, irrigation, etc. Any and all damaged items shall be replaced and paid for by the contractor. Licensee a waiver is issued. All damaged items shall be replaced according to Parks and Recreation standards. All irrigation modifications shall be the responsibility of the contractor, to the satisfaction of Parks and Recreation. Damaged irrigation shall be replaced within 24-hours in the presence of authorized City staff. City staff may allow time to be extended to the licensee contractor and paid prior to the project final. Failure to repair within the period may result in penalties, including work stoppage, and the City contracting for such repairs. In the event the City contractor for repairs, the licensee/contractor shall reimburse the City for repairs and shall time prior to the project final.
- PR29. Damaged turf shall be replaced with sodded turf by the Licensee. The specific variety to be determined by Parks and Recreation.
- PR30. All permits are the responsibility of the Licensee. All inspections are the responsibility of the contractor and/or licensee.
- PR31. A preconstruction meeting for the project is required. The preconstruction meeting shall be coordinated with Parks and Recreation at 951.413.3701, 10 days in advance of construction. The general contractor and all subcontractors shall be present at the preconstruction meeting.
- PR32. Inspections are required on all phases of the project. 48-hour inspection requests shall be made with Parks and Recreation at 951.413-3103. Contact Building and

PLANNING DIVISION
FINAL CONDITIONS OF APPROVAL FOR P405-0149
CONDITIONAL USE PERMIT - WESTON PARK MONOPINE
PAGE 11 OF 11

- or confirmation has been reported. Additionally, no exterior coating shall be performed if air or surface temperature is above 92 degrees Fahrenheit or if winds exceed 5 mph.
- F. Refer to the manufacturer's data sheet and comply with the requirements regarding application such as mixing of the components, its usage, and application operation.
- G. When surface temperatures are high, care must be taken when applying the paint to prevent formation of voids, pinholes, and bubbles due to the rapid evaporation of solvent.
- H. If more than one day passes between stain-resistive coats, contaminated areas must be further prepared by brush-off blast, water blasting, or steam cleaning.

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CLIENT




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CLIENT REPRESENTATIVE

PARSONS


2201 DUPONT DRIVE, SUITE 200
IRVINE, CA 92612
PHONE: (949) 477-1251
FAX: (949) 883-9937

ARCHITECT



230 E. RINCON STREET
SUITE NO. 108
CORONA, CALIFORNIA 92709
PHONE: 951-571-2057
FAX: 951-571-8424

JOB NUMBER: 05048
SHEET NO.: G.C.
CHECKED BY: R.B.
DATE: 01-14-08
FIELD FOR: CLIENT REVIEW
SITE NUMBER: RS0029-01-P5-B1



SITE ADDRESS

13170 LASSELLE ST.
MORENO VALLEY, CA 92553

APPROVAL TYPE

BUILDING PERMIT

SHEET TITLE

CONDITIONS OF APPROVAL

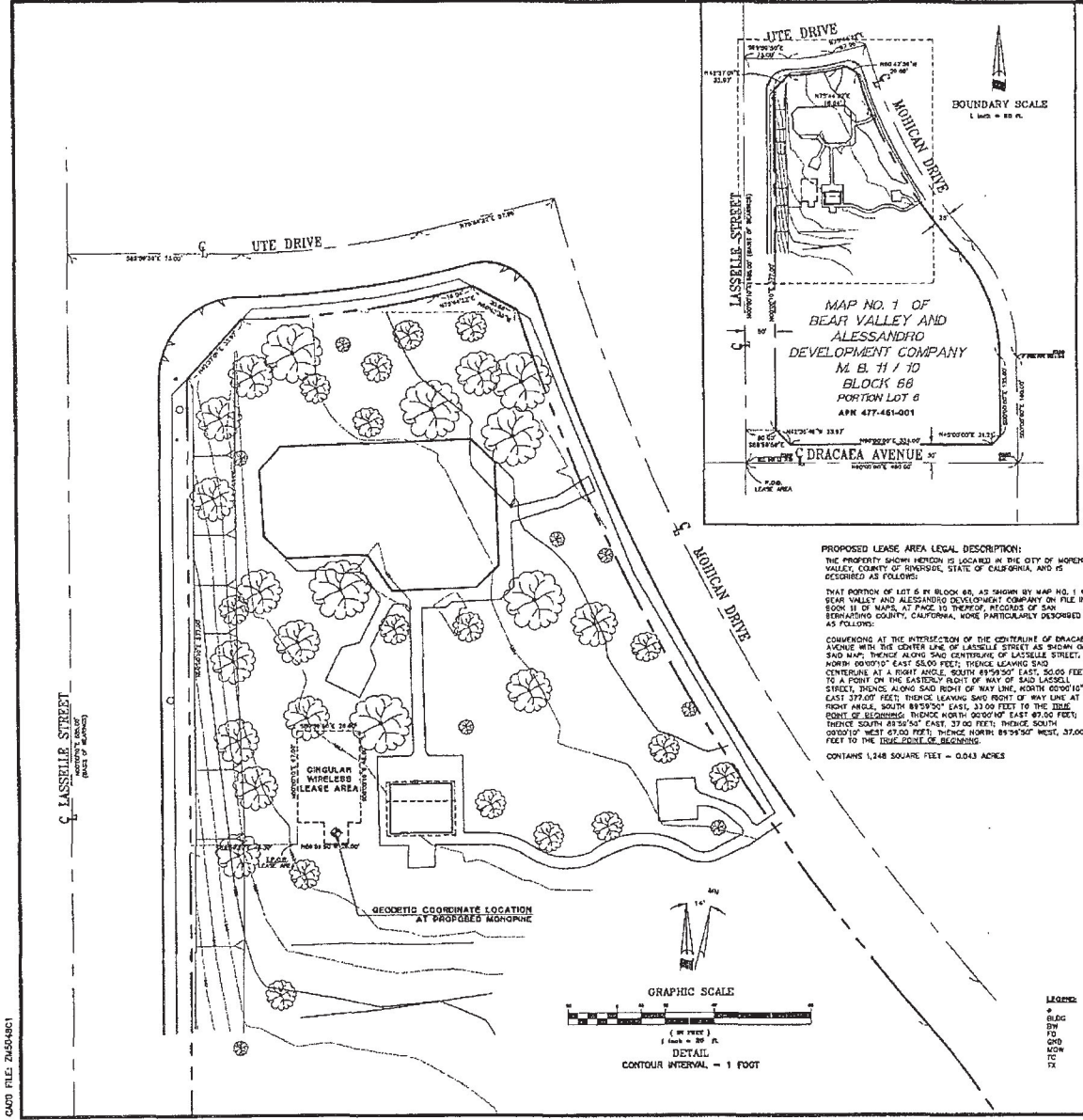
SHEET NUMBER

G-2

CITY PROJECTS NUMBER (P405-0149) Attachment: Telecommunications License Executed Agreement Cingular - Weston Park (5839 : First

CAD FILE: 20080422

Attachment: Telecommunications License Executed Agreement Cingular - Weston Park (5839 : First



DATE OF SURVEY:
 AUGUST 3, 2005

SITE SURVEY PERFORMED BY:
MP SURVEYORS, INC.
 17882 SKY PARK CIRCLE, SUITE B
 IRVINE, CALIFORNIA 92614
 (949) 250-0272

BASES OF BEARINGS:
 THE CENTERLINE OF LASSELLE STREET, BEING NORTH 00°00'00" EAST, FOR TRACT NO. 18455-1, RECORDED IN BOOK 142, PAGE 53 THROUGH 54, INCLUSIVE OF MAPS, RECORDS OF RIVERSIDE COUNTY;
 GEODETIC COORDINATES @ ANTENNA:
 NAD 83
 LATITUDE: 33°25'46.67" N
 LONGITUDE: 117°13'31.61" W
GROUND ELEVATION @ ANTENNA: Elev. 1652.3 FEET
BENCHMARK: Elev. 1648.078 FEET
 GPS BENCHMARK
 ELEVATION WAS ESTABLISHED USING "PROXIMA 1" ANTENNA GPS RECEIVERS AND ANTEENNA QUALITY MONITOR 3.7 SOFTWARE FOR POST-PROCESSING.
 ELEVATION = 1648.078 FEET (NAVD83)

AP.N.:
 RIVERSIDE COUNTY A.P.N. 477-451-001

SITE LEGAL DESCRIPTION:
 THE PROPERTY SHOWN HEREON IS LOCATED IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
 THOSE PORTIONS OF LOTS 4 AND 5 IN BLOCK 66 AND THAT PORTION OF DRACACA AVENUE, AS SHOWN BY MAP NO. 1 OF BEAR VALLEY AND ALESSANDRO DEVELOPMENT COMPANY ON FILE IN BOOK 11 OF MAPS, AT PAGE 10 THEREOF, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE INTERSECTION OF THE CENTERLINE OF SAID DRACACA AVENUE WITH THE CENTER LINE OF LASSELLE STREET AS SHOWN ON SAID MAP; THENCE NORTH 00°00'00" EAST ALONG SAID CENTERLINE OF LASSELLE STREET, A DISTANCE OF 35.00 FEET TO A POINT THEREON; THENCE SOUTH 89°59'50" EAST, A DISTANCE OF 30.00 FEET FOR THE TRUE POINT OF BEGINNING; SAID POINT BEING IN A LINE PARALLEL WITH AND EAST 50.00 FEET EASTWARD, MEASURED AT A RIGHT ANGLE, FROM SAID CENTERLINE OF LASSELLE STREET; THENCE NORTH 00°00'00" EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 37.00 FEET TO A POINT THEREON; THENCE NORTH 42°37'01" EAST, A DISTANCE OF 33.87 FEET TO A POINT IN A CONTINGENT CURVE, COMMENCING TO THE NORTHWEST, HAVING A RADIUS OF 325.00 FEET, THE RADIAL LINE AT SAID POINT BEARS SOUTH 02°02'01" WEST; THENCE NORTHWESTERLY ALONG SAID CURVE, TO THE LEFT, THROUGH A CENTRAL ANGLE OF 147°24'46", AN ARC DISTANCE OF 416.8 FEET TO THE END THEREOF; THENCE NORTH 72°14'27" EAST, A DISTANCE OF 16.84 FEET; THENCE SOUTH 80°43'37" EAST, A DISTANCE OF 19.87 FEET TO A POINT IN A NORTHWEST CURVE, COMMENCING TO THE NORTHWEST, HAVING A RADIUS OF 340.00 FEET, THE RADIAL LINE AT SAID POINT BEARS SOUTH 72°31'21" WEST; THENCE SOUTHWESTERLY ALONG SAID CURVE, TO THE LEFT, THROUGH A CENTRAL ANGLE OF 233°47'18", AN ARC DISTANCE OF 348.78 FEET TO A POINT OF POSITIVE QUANTUM WITH A CURVE COMMENCING TO THE SOUTHWEST, HAVING A RADIUS OF 275.00 FEET, THE RADIAL LINE AT SAID POINT BEARS SOUTH 49°04'03" WEST; THENCE SOUTHWESTERLY ALONG SAID LAST NORTHWEST CURVE, TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 49°55'58", AN ARC DISTANCE OF 184.32 FEET TO THE END THEREOF; THENCE SOUTH, A DISTANCE OF 125.00 FEET; THENCE SOUTH 45°00'00" WEST, A DISTANCE OF 31.24 FEET TO A POINT IN A LINE PARALLEL WITH AND NORTHERLY 50.00 FEET, MEASURED BY A RIGHT ANGLE, FROM SAID CENTERLINE OF DRACACA AVENUE; THENCE WEST ALONG SAID PARALLEL LINE, A DISTANCE OF 331.00 FEET; THENCE NORTH 42°02'57" WEST, A DISTANCE OF 33.87 FEET TO THE TRUE POINT OF BEGINNING.

AREA:
 160,899 SQ. FT. = 4.146 ACRES

TITLE REPORT IDENTIFICATION:
 STEWART TITLE OF CALIFORNIA, INC.
 PRELIMINARY REPORT NO. 06060644
 DATED: JULY 02, 2005

EASEMENT NOTES:
 NO FURTHER EASEMENTS PER STEWART TITLE OF CALIFORNIA, INC. PRELIMINARY REPORT NO. 06060644, DATED JULY 02, 2005.

LEGEND:
 BLDG BUILDING
 SW FOUND
 FND FOUND
 GND GROUND
 MOW MOW STRIP
 TO TOP OF CURB
 TX TOP OF CURB CUT

RECORDS:

NO.	DATE	ADD. LEASE AREA LEGAL DESC.	JA	BY
1	3/23/05	ADD LEASE AREA LEGAL DESC.	JA	

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CLIENT REPRESENTATIVE

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 IRVINE, CA 92612
 PHONE: (949) 477-1051
 FAX: (949) 863-0687

ARCHITECT

 250 E. RINGGON STREET
 SUITE 102
 CORONA, CALIFORNIA 92674
 PHONE: 951-871-2027
 FAX: 951-571-8424

JOB NUMBER: 05048
OWNER: JA
DATE: 01-14-08
PROJECT: MP

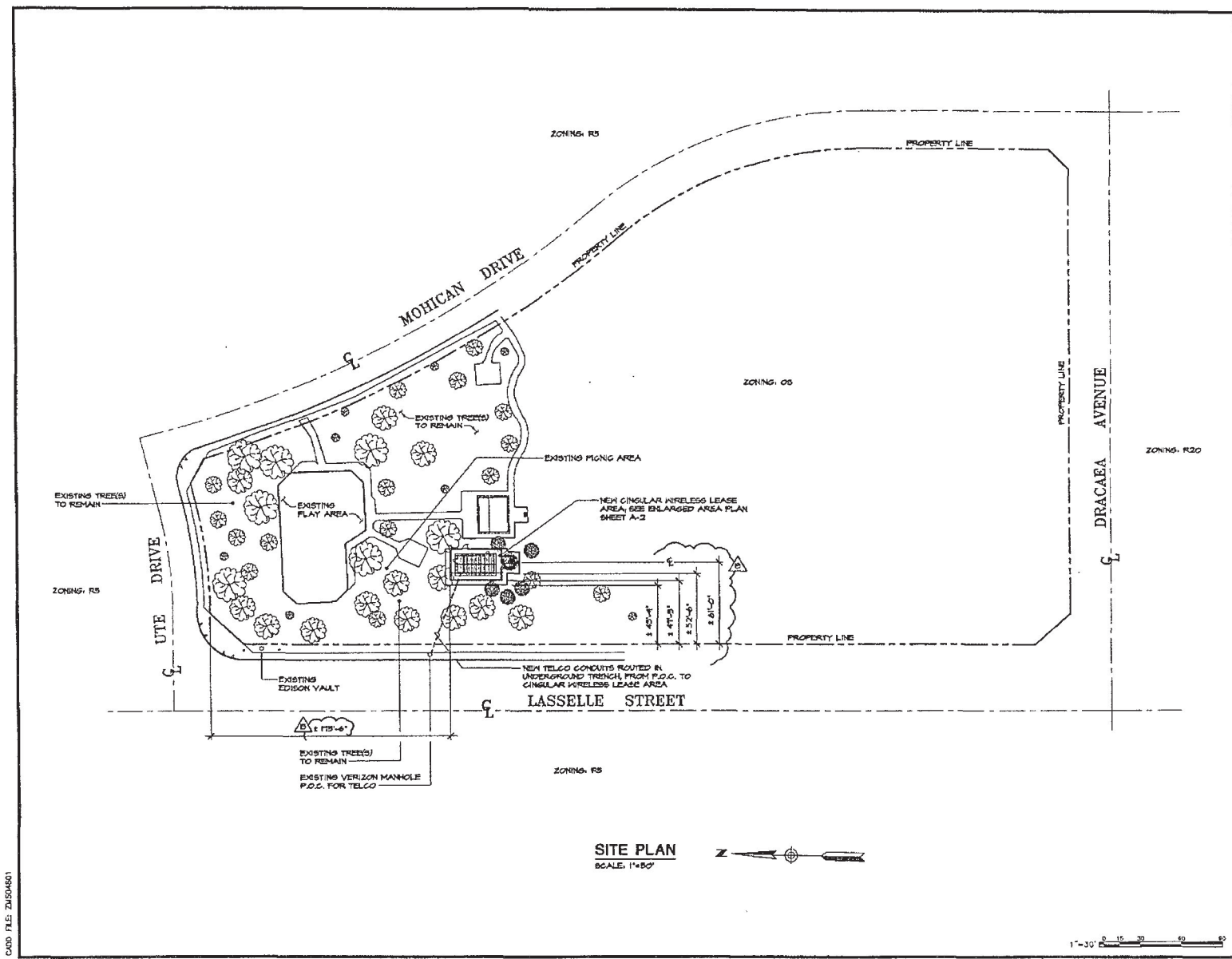
CLIENT REVIEW
SHEET NUMBER: RS0029-01-P5-B1

SITE ADDRESS
 13170 LASSELLE ST.
 MORENO VALLEY, CA 92553

APPROVAL TYPE
BUILDING PERMIT
SHEET TITLE

SITE SURVEY DATA AND EXISTING SITE PLAN
SHEET NUMBER
C-1

CITY PROJECTS NUMBER (P-A05-0148)



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 FAX: (949) 863-6007

ARCHITECT
Howard
 Consulting
 &
 Design
ARCHITECTS
 Inc.
 280 E. RINGON STREET
 SUITE NO. 109
 CORONA, CALIFORNIA 92704
 PHONE: 451-2711-2297
 FAX: 451-311-8424

JOB NUMBER: 05048	DRAWN BY: G.C.
CHECKED BY: B.B.	DATE: 01-14-08

ORDER NO.1
CLIENT REVIEW
 SITE NUMBER:
RS0029-01-P5-B1

SITE ADDRESS
 13170 LASSELLE ST.
 MORENO VALLEY, CA 92553

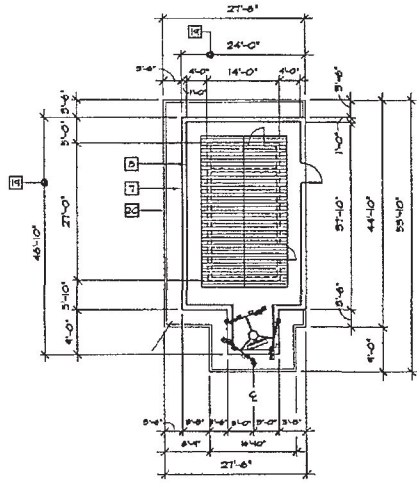
APPROVAL TYPE
BUILDING PERMIT

SHEET TITLE
SITE PLAN

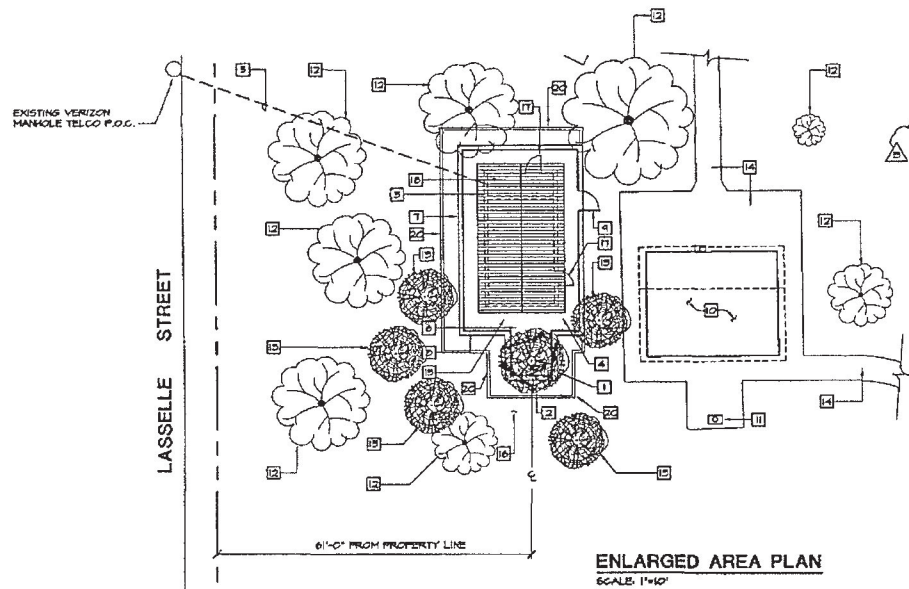
SHEET NUMBER
A-1

CITY PROJECTS NUMBER (PAGS-0148)

Attachment: Telecommunications License Executed Agreement Cingular - Weston Park (5839 : First



DIMENSIONAL PLAN LAYOUT
SCALE: 1"=10'



ENLARGED AREA PLAN
SCALE: 1"=10'

GENERAL KEY NOTES

- | | |
|--|--|
| <p>1 NEW CIRCULAR WIRELESS DIVERSITY ANTENNAS MOUNTED ON A NEW 6'-0" HIGH MONOPINE STRUCTURE, SEE ANTENNA AZIMUTH CONFIGURATION SHEET A-6 DETAIL 1</p> <p>2 NEW 4'-0" MICROWAVE DISH, BY OTHERS</p> <p>3 NEW 14'-0"x21'-0"x12'-0" HIGH DECORATIVE TAN SUIP-STONE BLOCK WITH MATCHING TAN MORTAR, ALL WALLS SHALL BE SOLID BRICUT WITH 2800 PSI GROUT, 8"x24"x16" AND CITY APPROVED ANTI-SHRAFFITI COATINGS.</p> <p>4 NEW 6PS ANTENNAS TYPICAL OF (2) MOUNTED ON BLOCK WALL, SEE SHEET A-6 DETAIL 2. ALL EXPOSED PIPE, BRACKETS, HARDWARE, & WIRE SHALL BE SHIELDED BY A FULL-LENGTH 1/4 GAUGE STAINLESS STEEL COVER.</p> <p>5 NEW TELCO CONDUITS ROUTED IN UNDERGROUND TRENCH, FROM P.O.G. TO CIRCULAR WIRELESS LEASE AREA.</p> <p>6 NEW UNDERGROUND COAX CABLE TRENCH, FROM EQUIPMENT SHELTER TO NEW MONOPINE, SEE SHEET A-6 DETAIL 3</p> <p>7 NEW 8'-0" HIGH REINFORCED CONCRETE APRON SHALL SURROUND CIRCULAR WIRELESS EQUIPMENT SHELTER.</p> <p>8 NEW 7'-0" HIGH HIGHTOUGHT IRON FENCE, SEE CONDITIONS OF APPROVAL, TRENCH AND GATE SPECIFICATIONS, & PAINTING/COATING SCHEDULE, SHEET 6-2</p> | <p>9 NEW 4'-0" WIDE HIGHTOUGHT IRON GATE, SEE SHEET A-6 DETAIL 7</p> <p>10 EXISTING RESTROOM FACILITIES</p> <p>11 EXISTING LIGHT POLE</p> <p>12 EXISTING TREE TO REMAIN</p> <p>13 NEW LIVE TREES PER CONDITIONS OF APPROVAL, TYPICAL OF (3), SEE LANDSCAPE DRAWINGS</p> <p>14 EXISTING CONCRETE WALK</p> <p>15 TWO (2) NEW CONDENSING UNIT, SEE MECHANICAL DRAWINGS AND CONDITIONS OF APPROVAL, PRT, SHEET 6-1</p> <p>16 TWO (2) ADDITIONAL CONDUITS SHALL BE INCORPORATED INTO THE BASE OF THE POLE, CAPPED AND TERMINATE 10' SOUTH OF THE POLE</p> <p>17 NEW 2'-0"x7'-0" DOORS, THE DOOR TO THE BUILDING SHALL BE SOLID DOORS PER CONDITION OF APPROVAL, PFG, SEE SHEET 6-1</p> <p>18 TRENCH METAL ROOFING PER CONDITION PFG, SEE SHEET 6-2</p> <p>19 NEW CIRCULAR WIRELESS LEASE AREA</p> <p>20 6"x6" HIGH 8'x11' SEE LANDSCAPE DRAWINGS AND SHEET A-6 DETAIL 8</p> |
|--|--|

NOTE:
1. HVAC UNITS SHALL BE MOUNTED WITHIN THE BUILDING, WITH THE EXCEPTION OF THE CONDENSERS, AC CONDENSERS SHALL BE MOUNTED TO THE REAR OF THE BUILDING AND HAVE A VANDAL PROOF ENCLOSURE COVER, THE COVER SHALL BE MANUFACTURED UTILIZING A 1/4" STAINLESS STEEL FRAMING MATERIALS AND STAINLESS STEEL 1/4 GAUGE 3" PLATED MESH. THE UNIT SHALL BE SAND BLASTED AND POWDER COATED CLEAR, THE RECOMMENDED FABRICATOR FOR THIS IS JERICO LLC, PHONE 404.570.8404. (OR EQUAL)

2. ANTI SHRAFFITI COATINGS SHALL BE: VITROCHEM HIGH BUILD THERMOSETTING ANTI GRAFFITI GLAZED COATINGS, MANUFACTURER BY BETHELL, INC @ (826) 551-2342

NOTE:
SEE LANDSCAPE AND IRRIGATION DRAWINGS FOR ALL LANDSCAPE REQUIREMENTS, NOTE PLANT TYPE WILL BE NAME BY TONY HEATHERMAN PARKS PROJECT COORDINATOR AT TIME OF INSTALLATION PHONE (951) 419-5169

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ARCHITECT
Hirson Consulting & Design
ARCHITECTS INC.
250 E. BRACON STREET
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CORONA, CALIFORNIA 92618
PHONE: 951-571-2097
FAX: 951-571-8424

JOB NUMBER: D5048	DESIGN BY: G.C.
CHECKED BY: R.B.	DATE: 01-14-08
CLIENT REVIEW	
SIC NUMBER: RS0029-01-P5-B1	



SITE ADDRESS
13770 LASSELLE ST.
MORENO VALLEY, CA 92553

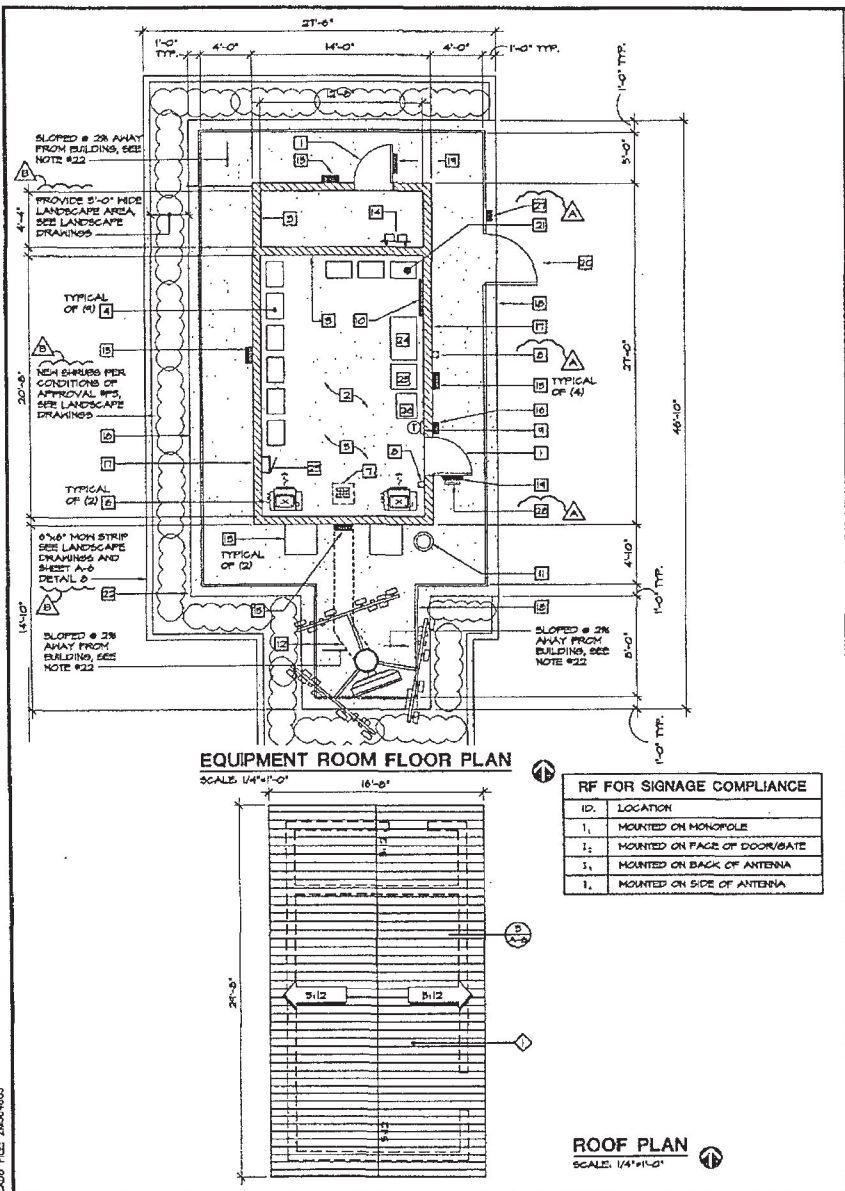
APPROVAL TYPE
BUILDING PERMIT
SHEET TITLE

ENLARGED AREA PLAN
SHEET NUMBER
A-2



CADD FILE: ZMS54822

CITY PROJECTS NUMBER (P405-0748)



- ### FLOOR PLAN KEY NOTES
- ENTRANCE DOORS TO THE BUILDING SHALL BE SOLID DOORS. THE ENTIRE UNIT (DOOR AND FRAME) SHALL BE COATED DARK BROWN WITH VITROCLIM THERMOSETTING COATING FOR METAL MANUFACTURED BY BITHELL, INC @ 626-551-3212.
 - STEELCRAFT STEEL STIFFENED 1-3/4" THICK DOOR, 12-GAUGE STAINLESS STEEL SKIN AND 12-GAUGE STAINLESS STEEL FRAME FOR EXTERIOR DOORS. FRAMES SHALL BE COATED
 - STEELCRAFT S.S. NORTHE TYPE CONTINUOUS HINGE OR
 - HASLER HINGE 808160 S.S. SECURITY STUD, NON-REMOVABLE FIN (NRF) AS REQUESTED
 - TRINGO # 111C-850 EXTERIOR TRIM MLL ADA
 - TRINGO # 1001-3, 4X16, 650 PUSH PLATE
 - TRINGO # 1010-3, 4X16, 650 PULL PLATE
 - TRINGO # 5300, LOCK ASTRALAL
 - DOOR CLOSURE LGN # 940L COLOR TO MATCH FINISHED DOOR COLOR
 - THRESHOLD AND DOOR SWEEP, PINGO BRAND, COLOR TO MATCH FINISHED DOOR COLOR
 - EXTERIOR DOOR SEAL, PINGO # 249, COLOR TO MATCH FINISH DOOR COLOR
 - ENTIRE DOOR SHALL BE PAINTED PER THE PAINT SCHEDULE. THE FINISH FOR DOORS AND DOORFRAMES SHALL BE DETERMINED BY PARKS AND RECREATION
 - CEILING FINISH:
 - 5/8" GYPSUM BOARD, APPLY JOINT TAPE AND COMPOUND AT JOISTS (BOTH DIRECTIONS). APPLY COMPOUND @ ACCESSORY FLANGES, PENETRATIONS, FASTENER HEADS, AND SURFACE DEFECTS. INSTALL COMPOUND IN (B) COATS, SAND AFTER LAST (2) COATS. DRYWALL TEXTURE TO BE ROLLER SMOOTH.
 - PAINT: PRIMER - 1 COAT SINGLAIR 9110 PIGMENTED PVA SEALER, SECOND COAT-SINGLAIR 9110AQUA COATER, THIRD COAT-SINGLAIR 9100AQUA SATN ENAMEL, POP 1-2 MILS PER COAT.
 - HALL FINISH: MASONRY WALL, INTERIOR. PRIMER - 1 COAT SINGLAIR 9110 PIGMENTED PVA SEALER, SECOND COAT-SINGLAIR 9110AQUA COATER, THIRD COAT-SINGLAIR 9100AQUA SATN ENAMEL, POP 1-2 MILS PER COAT.
 - CLEAN FLOOR AND PREPARE FLOOR AS NECESSARY TO RECEIVE NEW RESILIENT FLOOR TILE. NEW TILE SHALL BE 12" x 12" x 1/8" ANTI-STRAIN INTERNAL TEXTURE TILE 9100K (COLOR, SHELTER WHITE) PROVIDE 4" RUBBER TOP SET COVE BASE ON ALL WALLS IN RADIO EQUIPMENT ROOM (COLOR, BLACK)
 - AIR CONDITIONING UNIT. AIR CONDITIONING USED IN THE EQUIPMENT ROOM IS NOT INTENDED FOR HUMAN COMFORT, BUT IS INTENDED TO COOL ELECTRONIC EQUIPMENT. SEE MECHANICAL DRAWINGS
 - COAX CABLE FLOOR PASS-THRU, SEE SHEET A-6 DETAIL 4
 - PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2A OR 2A-10-BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT
 - MALL MOUNTED THERMOSTAT, SEE MECHANICAL DRAWINGS
 - TELEPHONE BACKBOARD, 4' x 4' x 3/4" TYPE C-D FIRE RETARDANT TREATED PLYWOOD, MOUNT WITH TOP @ 1'-6" A.F.F. COVER WITH 1 COAT ALLOY PRIMER THEN USE FLAT PAINT, PLANECONCRETE 9009, SEMI-GLOSS OCEAN 9000D OVERCOAT EGGSHELL TINT TO MATCH WALLS; SEE ELECTRICAL DRAWINGS
 - NEW DRYWALL FOR A.C. CONDENSATE. SEE SHEET H-2 DETAIL 3
 - NEW NEXTEL UNDERGROUND 1 3/4" WIDE COAX CABLE RUN FROM RADIO EQUIPMENT ROOM TO MONOPOLE. SEE SHEET A-6 DETAIL 5
 - NEW CONDENSING UNIT (TYPICAL OF 2), SEE MECHANICAL DRAWINGS
 - TELCO H-FRAME, SEE ELECTRICAL DRAWINGS
 - SECURITY LIGHTING MOUNTED ON SHELTER, (TYPICAL OF 4) KIM HALL DIRECTOR, 100WATT-TORNSPOT-LED-150 DARK SKY MODEL. SEE ELECTRICAL DRAWINGS
 - KNOX BOX ON THE BUILDING IS #5274 RECESSED MOUNT (CONTACT PARKS PROJECTS COORDINATOR FOR APPLICATION AND KNOX BOX APPROVAL). PARKS WILL OBTAIN APPLICATION FROM FIRE
 - NEW 14'-0"x21'-0"x12'-0" HIGH DECORATIVE TAN ORGO SLURFSTONE BLOCK WITH MATCHING TAN HORIZONTAL. ALL WALLS SHALL BE SOLID BROUGHT WITH 2500 PSI GROUT, 8"x4"x16" AND CITY APPROVED ANTI-GRAFFITI COATING, PER "COA" PERIOD CONDITIONS OF APPROVAL, TRNCE AND GATE SPECIFICATIONS # "PAINTING/COATING SCHEDULE" SHEET 6-2
 - NEW 7'-0" HIGH FREIGHT IRON FENCE. SEE CONDITIONS OF APPROVAL, TRNCE AND GATE SPECIFICATIONS # "PAINTING/COATING SCHEDULE" SHEET 6-2
 - RF SIGNAGE FOR COMPLIANCE SEE TABLE 1, THIS SHEET
 - NEW 4'-0" WIDE FREIGHT IRON GATE, SEE SHEET A-6 DETAIL 1
 - NEW RES 2206 CABINET, TYPICAL OF 4
 - NEW 8'-0" WIDE REINFORCED CONCRETE APRON SHALL SURROUND CINGULAR WIRELESS EQUIPMENT SHELTER
 - ELECTRICAL PANEL, SEE ELECTRICAL DRAWINGS
 - BATTERY CUBE
 - RECTIFIERS
 - EX11 CABINETS
 - KNOX BOX ON THE FENCE TO BE #5261 SURFACE MOUNT (CONTACT PARKS PROJECTS COORDINATOR FOR APPLICATION AND KNOX BOX APPROVAL). PARKS WILL OBTAIN APPLICATION FROM FIRE
 - PROVIDE EMERGENCY CONTACT INFORMATION SIGN MOUNTED ON FACE OF ENTRY DOOR. INFORMATION PROVIDED BY PARKS. ALSO A WARNING SIGN WITH ANTI-GRAFFITI OVERLAY COATING SHALL BE INSTALLED ON THE DOOR OF THE BUILDING PER "COA" PERIOD

- ### ROOF PLAN KEY NOTES
- THE ROOF SHALL BE "TRENKLOCK" FROM TRINGO, PN (200) 482-4464. THE COLOR SHALL BE SPECIFIED BY PARKS AND RECREATION. THE ROOF UNDERLAYMENT SHALL BE ELK VERSA SHIELD

- ### MASONRY PLAN KEY NOTES
- INSTALL ONE ORGO PRECISION BLOCK FOR WALL BACK EXTERIOR LIGHT MOUNTING; SLURF STONE BLOCK WITH TAN MORTAR.
 - DOOR JAMBS TO MOUNT ON TO PRECISION BLOCK
 - SOFFIT CONNECTION TO BLOCK, SOFFIT SHALL BE COMPLETELY SEALED WITH 3" EXTERIOR GRADE PLYWOOD.

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JOB NUMBER: 05049	DESIGN BY: G.C.
DRAWN BY: S.B.	DATE: 01-14-08
REKED FOR:	CLIENT REVIEW
SITE NUMBER: RS0029-01-P5-B1	

SEAL: H. E. 0114

SITE ADDRESS

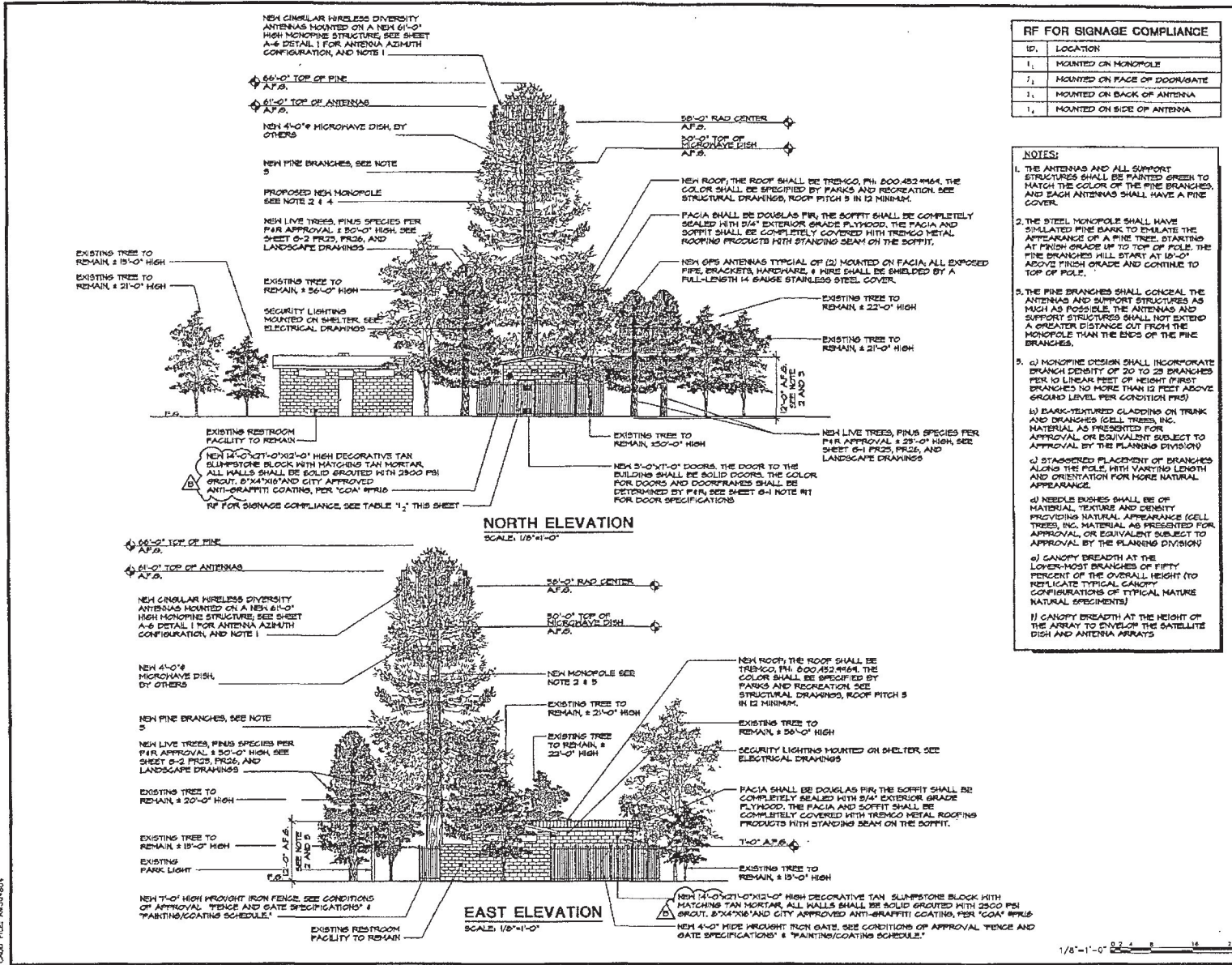
1070 LASSELLE ST.
MORENO VALLEY, CA 92553

APPROVAL TYPE
BUILDING PERMIT

SHEET TITLE
EQUIPMENT ROOM FLOOR PLAN AND ROOF PLAN

SHEET NUMBER
A-3

CITY PROJECTS NUMBER (PA05-0148)



RF FOR SIGNAGE COMPLIANCE	
ID.	LOCATION
1 ₁	MOUNTED ON MONOPOLE
2 ₁	MOUNTED ON FACE OF DOOR/GATE
3 ₁	MOUNTED ON BACK OF ANTENNA
4 ₁	MOUNTED ON SIDE OF ANTENNA

- NOTES:**
- THE ANTENNAS AND ALL SUPPORT STRUCTURES SHALL BE PAINTED GREEN TO MATCH THE COLOR OF THE PINE BRANCHES, AND EACH ANTENNA SHALL HAVE A PINE COVER.
 - THE STEEL MONOPOLE SHALL HAVE SIMULATED PINE BARK TO EMULATE THE APPEARANCE OF A PINE TREE, STARTING AT FINISH GRADE UP TO TOP OF POLE. THE PINE BRANCHES WILL START AT 10'-0" ABOVE FINISH GRADE AND CONTINUE TO TOP OF POLE.
 - THE PINE BRANCHES SHALL CONCEAL THE ANTENNAS AND SUPPORT STRUCTURES AS MUCH AS POSSIBLE. THE ANTENNAS AND SUPPORT STRUCTURES SHALL NOT EXTEND A GREATER DISTANCE OUT FROM THE MONOPOLE THAN THE ENDS OF THE PINE BRANCHES.
 - MONOPOLE DESIGN SHALL INCORPORATE BRANCH DENSITY OF 20 TO 25 BRANCHES PER 10 LINEAR FEET OF HEIGHT. FIRST BRANCHES NO MORE THAN 12 FEET ABOVE GROUND LEVEL PER CONDITION FRS)
 - b) DARK-TEXTURED CLADDING ON TRUNK AND BRANCHES (CELL TREES, INC. MATERIAL AS PRESENTED FOR APPROVAL OR EQUIVALENT SUBJECT TO APPROVAL BY THE PLANNING DIVISION)
 - c) STAGGERED PLACEMENT OF BRANCHES ALONG THE POLE, WITH VARYING LENGTH AND ORIENTATION FOR MORE NATURAL APPEARANCE.
 - d) NEEDLE BUSHES SHALL BE OF NATURAL TEXTURE AND DENSITY PROVIDING NATURAL APPEARANCE (CELL TREES, INC. MATERIAL AS PRESENTED FOR APPROVAL OR EQUIVALENT SUBJECT TO APPROVAL BY THE PLANNING DIVISION)
 - e) CANOPY BREADTH AT THE LOWER-MOST BRANCHES OF FIFTY PERCENT OF THE OVERALL HEIGHT (TO REPLICATE TYPICAL CANOPY CONFIGURATIONS OF TYPICAL NATURAL SPECIMENS)
 - f) CANOPY BREADTH AT THE HEIGHT OF THE ARRAY TO DEVELOP THE SATELLITE DISH AND ANTENNA ARRAYS

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ISSUED FOR: CLIENT REVIEW	
SITE NUMBER: RS0029-01-P5-B1	

SITE ADDRESS
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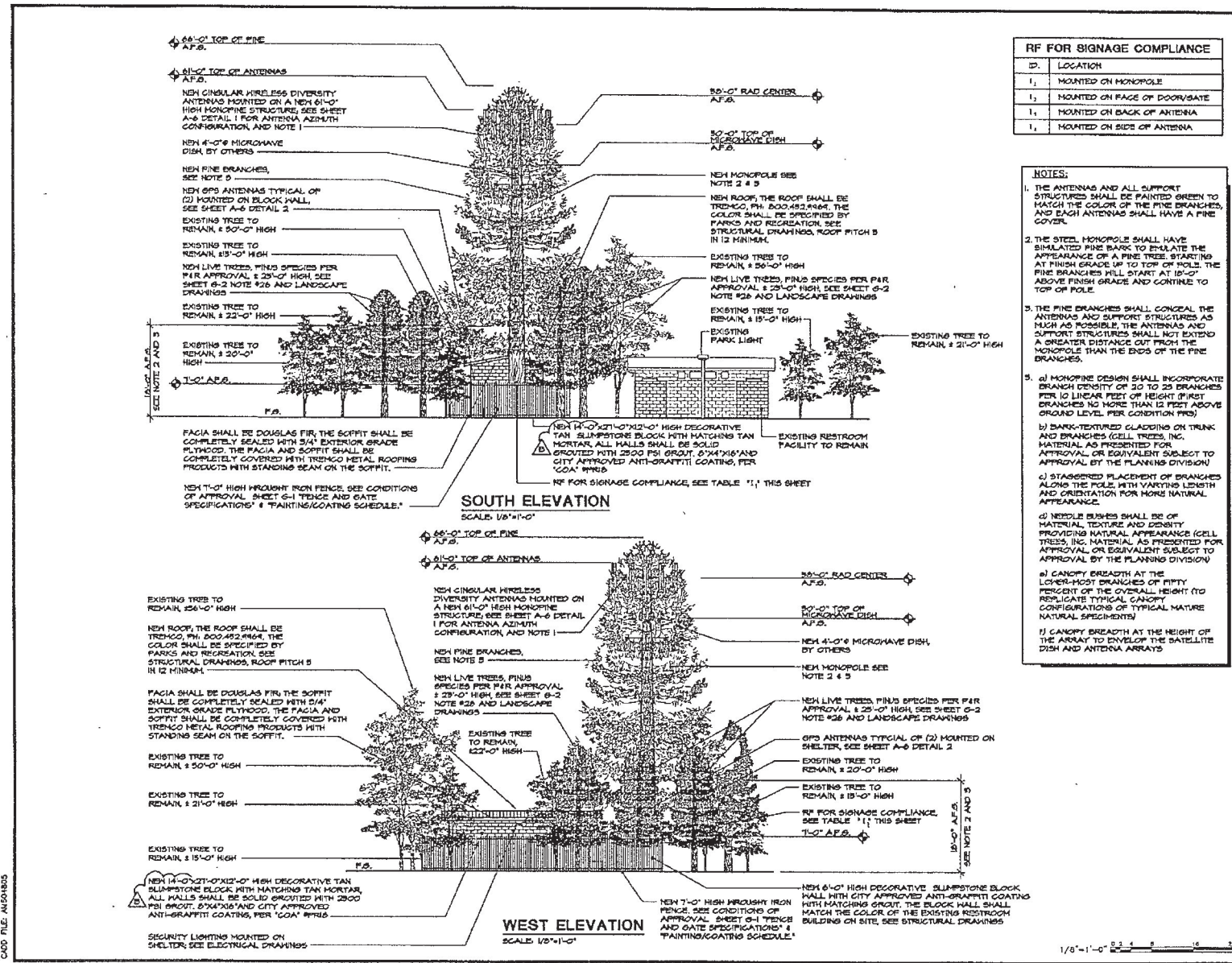
APPROVAL TYPE
BUILDING PERMIT

SHEET TITLE
**EXTERIOR ELEVATIONS
 NORTH AND EAST**

SHEET NUMBER
A-4

CADD FILE: A5839B24

CITY PROJECTS NUMBER: (PAGS-046)



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APPROVAL TYPE

BUILDING PERMIT

SHEET TITLE

EXTERIOR ELEVATIONS SOUTH AND WEST

SHEET NUMBER

A-5

CITY PROJECTS NUMBER (P-05-0148)

RF FOR STORAGE COMPLIANCE

1. LOCATION MOUNTED ON BACK OF ANTENNA

2. MOUNTED ON SIDE OF ANTENNA

COAX CONFIGURATION

SCALE: 1/2"=1'-0"

GPS ANTENNA DETAIL

SCALE: N.T.S.

CEILING SUPPORT DETAIL

SCALE: N.T.S.

WAVE GUIDE ENTRY

SCALE: 1/2"=1'-0"

TYPICAL COAX LEAD ENCLOSURE

SCALE: N.T.S.

COAX TRENCH DETAIL

SCALE: N.T.S.

STEEL FENCE AND GATE DETAIL

SCALE: N.T.S.

CONCRETE MOW CURB

SCALE: N.T.S.

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APPROVAL TYPE
BUILDING PERMIT

SHEET TITLE
ARCHITECTURAL DETAILS

SHEET NUMBER
A-6

CITY PROJECTS NUMBER (PAGE-046)

RED SECTOR 1800 AND 850 A.S.				GREEN SECTOR 1800 AND 850 C.S.			
A1 RED				G1 GREEN			
A2 RED/RED				G2 GREEN/GREEN			
A3 RED/RED/RED				G3 GREEN/GREEN/GREEN			
A4 RED/RED/RED/RED				G4 GREEN/GREEN/GREEN/GREEN			
A5 RED/RED/RED/RED/RED				G5 GREEN/GREEN/GREEN/GREEN/GREEN			
A6 RED/RED/RED/RED/RED/RED				G6 GREEN/GREEN/GREEN/GREEN/GREEN/GREEN			
A7 WHITE/RED	WHITE			C1 WHITE/RED	WHITE		
A8 WHITE/RED/RED	WHITE			C2 WHITE/RED/RED	WHITE		

BLUE SECTOR 1800 AND 850 D.S.				ORANGE SECTOR 1800 AND 850 D.S.			
B1 BLUE				O1 ORANGE			
B2 BLUE/BLUE				O2 ORANGE/ORANGE			
B3 BLUE/BLUE/BLUE				O3 ORANGE/ORANGE/ORANGE			
B4 BLUE/BLUE/BLUE/BLUE				O4 ORANGE/ORANGE/ORANGE/ORANGE			
B5 BLUE/BLUE/BLUE/BLUE/BLUE				O5 ORANGE/ORANGE/ORANGE/ORANGE/ORANGE			
B6 BLUE/BLUE/BLUE/BLUE/BLUE/BLUE				O6 ORANGE/ORANGE/ORANGE/ORANGE/ORANGE/ORANGE			
B7 WHITE/BLUE	WHITE			O7 WHITE/ORANGE	WHITE		
B8 WHITE/BLUE/BLUE	WHITE			O8 WHITE/ORANGE/ORANGE	WHITE		

A MAIN FEEDER MARKING GUIDE

BLUE SECTOR 1800 AND 850 D.S.			
MAIN FEEDER			
B3 1800 JUMPER (RANGE AS MAIN)			
B3 850 JUMPER (ADD ONE YELLOW BAND)			
B4 1800 JUMPER (CONNECTED TO THA)			
B4 850 JUMPER (ADD ONE YELLOW BAND)			

B JUMPER MARKING GUIDE

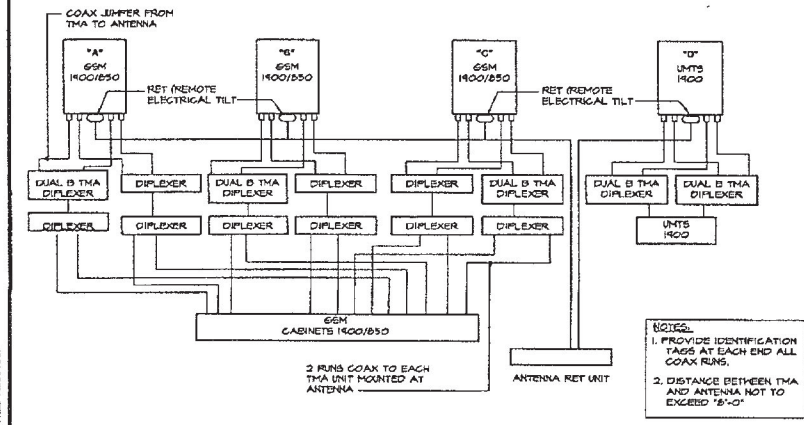
NOTE: CABLE TAGGING SHOWN FOR BASE LINE STATION SITE DESIGN GUIDELINES LOS ANGELES MARKET VERSION 3.0 04/20/05

JUMPER MARKING GUIDE
EACH MAIN FEEDER MAY REQUIRE UP TO TWO JUMPERS IF A DIPLEXER IS USED. THEREFORE, IT IS NECESSARY TO CLEARLY MARK BOTH ENDS OF EACH JUMPER. THE JUMPER WILL CARRY THE SAME COLORED BAND AS THE MAIN FEEDER. IN ADDITION, COLORED BANDS WILL BE ADDED TO COMPENSATE THIS FREQUENCY BAND AND ALSO THE PRESENCE OF AN INSTALLED THA.

EMERGENCY BAND
NO DIPLEXER INSTALLED, 850 AND 1800 BANDS. REPEAT MAIN FEEDER MARKINGS, NO ADDITIONAL COLORS, 1800 BAND; REPEAT MAIN FEEDER MARKINGS, NO ADDITIONAL BANDS, 850 BAND; REPEAT MAIN FEEDER MARKING PLUS ADD ONE YELLOW BAND.

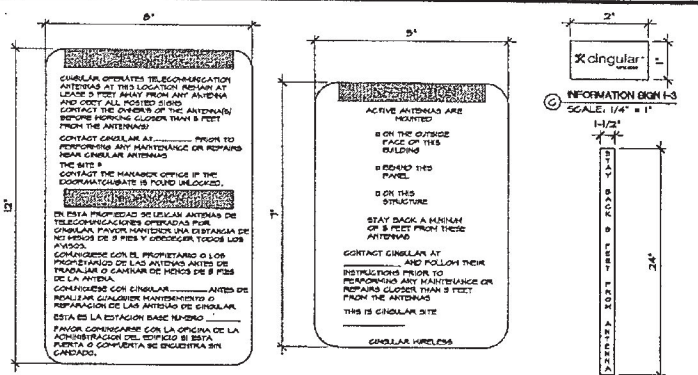
INSTALLING THA
NO THA INSTALLED, NO ADDITIONAL BANDS, THA INSTALLED, ADD ONE SLATE BAND.

CABLE TAGGING GUIDE



ANTENNA SCHEMATIC DIAGRAM

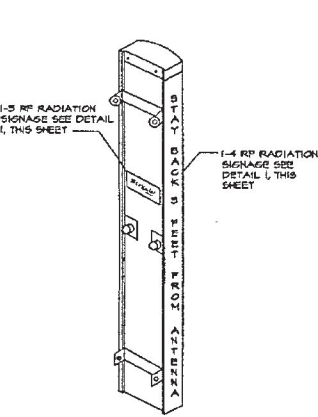
NOTES:
1. PROVIDE IDENTIFICATION TAGS AT EACH END ALL COAX RUNS.
2. DISTANCE BETWEEN THA AND ANTENNA NOT TO EXCEED "8'-0"



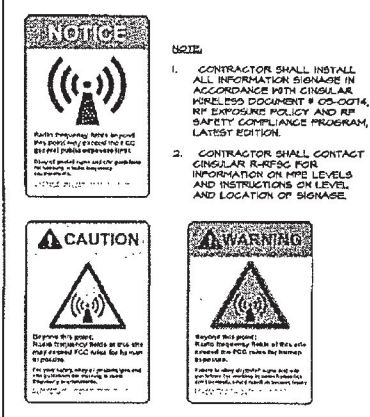
A INFORMATION SIGN 1 SCALE: 1/2" = 1' B INFORMATION SIGN 2 SCALE: 3/4" = 1' C INFORMATION SIGN 4 SCALE: 3/8" = 1'

- CONTRACTOR SHALL INSTALL ALL INFORMATION SIGNAGE IN ACCORDANCE WITH CINGULAR WIRELESS DOCUMENT R03-0074, RF EXPOSURE POLICY AND RF SAFETY COMPLIANCE PROGRAM, LATEST EDITION.
- FABRICATION:
 - SIGN 1-1: ENTRANCE DOOR, SEE DETAIL 1A, THIS SHEET
 - SIGN 1-2: POLE, SEE DETAIL 1B, THIS SHEET
 - SIGN 2: MUST BE A NON-METALLIC LABEL WITH AN ADHESIVE BACKING. THE LABEL SHALL BE MADE USING VINYL OR SIMILAR WEATHER-PROOF MATERIAL. THE LABEL SHALL BE APPROXIMATELY 8 X 1 INCHES WITH A WHITE BACKGROUND AND BLACK LETTERING. THE GREEN BAND SHALL BE 1.375 INCH IN HEIGHT AND THE LETTERING SHALL BE BLACK WITH 0.75 INCH HIGH LETTERS. THE TEXT LETTERING SHALL BE BLACK WITH 1/8 INCH HIGH LETTERS. UV PROTECTION SHALL BE PLACED OVER THE FRONT OF THE LABEL.
 - SIGN 1-3: BACK OF ANTENNAS, SEE DETAIL 1C & 5, THIS SHEET
 - SIGN 2: IS A 1 INCH X 2 INCH LABEL THAT CAN BE APPLIED TO THE BLACK SIDE OF AN ANTENNA TO IDENTIFY IT AS A CINGULAR ANTENNA.
 - SIGN 4: IS MADE FROM TRANSPARENT MATERIAL, 1-1/2 INCHES WIDE AND 24 INCHES LONG. THE LETTERING IS TO BE BLACK WITH 1/2 INCH LETTERING IN A VERTICAL COLUMN. THE SPACING BETWEEN WORDS MUST BE SUCH THAT IT IS EASILY READ AND FILLS THE LENGTH OF THE SIGN.

1 INFORMATION SIGNAGE 2



3 ANTENNA SIGNAGE DETAIL 4



5 NOTICE SIGNAGE

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JOB NUMBER: 05048 DRAWN BY: Q.C.
CREATED BY: Q.C. DATE: 01-14-08
ISSUED FOR: CLIENT REVIEW

CLIENT REVIEW
RS0029-01-P5-B1

SITE ADDRESS
13170 LASSELLE ST. MORENO VALLEY, CA 92553

APPROVAL TYPE
BUILDING PERMIT

SHEET TITLE
ANTENNA SIGNAGE

SHEET NUMBER
A-7

6

Attachment: Telecommunications License Executed Agreement Cingular - Weston Park (5839 : First

CITY PROJECTS NUMBER (PAGE-0148)

HVAC GENERAL NOTES

GENERAL NOTES:

- THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE LATEST ASHRAE AND INDUSTRIAL STANDARDS.
- ALL MECHANICAL WORK SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES AND FEDERAL CODES HAVING JURISDICTION OVER THE CONSTRUCTION.
- CONTRACTOR SHALL EXAMINE THE CONSTRUCTION SITE AND DISCUSS GENERAL REQUIREMENTS OF BUILDING AND WORK PERFORMANCE WITH THE PROJECT MANAGER. CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF OTHERS ON THE PROJECT. CONTRACTOR SHALL CONFIRM EXISTING CONDITIONS AND PROVIDE ALL LABOR AND MATERIALS TO MAKE A WORKABLE AND USEABLE SYSTEM.
- CONTRACTOR IS TO REPORT TO PROJECT MANAGER ANY OBSERVATIONS OR CONDITIONS WHICH ARE DISCOVERED IN THE BUILDING WHICH WOULD PREVENT THE FULL USE OF THE HVAC SYSTEM.
- ALL MECHANICAL EQUIPMENT AND DEVICES SHALL BE INSTALLED, PIPED, POWER WIRED AND CONTROL WIRED PER MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS.
- A MAINTENANCE LABEL MUST BE AFFIXED TO MECHANICAL EQUIPMENT. FOUR COPIES OF A MAINTENANCE MANUAL FOR THE EQUIPMENT ITEMS SHALL BE PROVIDED TO THE OWNER BY THE CONTRACTOR.
- CONDENSATE DRAINS OFF OF FAN COIL TO BE COPPER TUBING TYPE "K" DRAINS SHALL BE INDIRECT. DRAINS SHALL BE SUPPLIED AND INSTALLED BY THE MECHANICAL CONTRACTOR. DRAINS SHALL NOT BE RUN OVER CONDITIONED SPACE W/ MIN. 1/2" ARM-FLEX OR EQUAL.
- THE SUCTON LINES AND LIQUID LINES SHALL BE HARD DRAWN TYPE "L" COPPER TUBING, INSULATED WITH A MIN. OF 1/2" ARM-FLEX OR EQUAL. SOFT COPPER TUBING MAY BE USED IF NECESSARY TO INSTALL LINES AROUND OBSTRUCTIONS. AVOID SHARP BENDS AND TUBING MAY FRAG, CAUSING A RESTRICTION. USE LONG RADIUS ELBOVS WHENEVER POSSIBLE RISERS, BRAZE ALL CU TO CU JOINTS WITH SOLDER OR EQUIVALENT BRAZING MATERIAL. DO NOT USE SOFT SOLDER. SUCTON LINES TO SUPPORT A MINIMUM OF EVERY 6'. LIQUID LINES A MINIMUM OF EVERY 4'.
- ALL LOW VOLTAGE (24 V) ALARM AND CONTROL WIRING BY MECHANICAL CONTRACTOR. ALL CONDUIT BY ELECTRICAL CONTRACTOR.
- THE MECHANICAL CONTRACTORS SHALL BE RESPONSIBLE FOR THE ACQUISITION AND PAYMENT OF ALL PERMITS AND INSPECTIONS REQUIRED AND RELATED FEES FOR THIS INSTALLATION. ALL WORK SHALL COMPLY WITH APPLICABLE STATE AND LOCAL LAWS.
- ALL WEATHER EXPOSED EQUIPMENT, DUCTS, ETC. SHALL BE COMPLETELY WEATHERPROOFED.
- SEK RATING AND HEATING COMBUSTION EFFICIENCY RATINGS OF EACH HVAC UNIT SHALL COMPLY WITH MINIMUM STATE REQUIREMENTS.
- ALL MECHANICAL EQUIPMENT SHALL BE SEISMICALLY BRACED PER LOCAL REQUIREMENTS.
- VERIFY ELECTRICAL CHARACTERISTICS WITH ELECTRICAL DRAWINGS PRIOR TO BID AND MATERIAL PURCHASE.

ENERGY EFFICIENCY STANDARDS

THE INDICATED HVAC SYSTEM AND EQUIPMENT IS INTENDED FOR PROCESS COOLING ONLY AND THE SPACE IS NOT OCCUPIED BY PEOPLE AT ANY TIME (SECTION 102 OF STANDARDS).

ENVIRONMENTAL CONTROL GENERAL NOTES

SPACE ENVIRONMENTAL CONTROL SEQUENCE

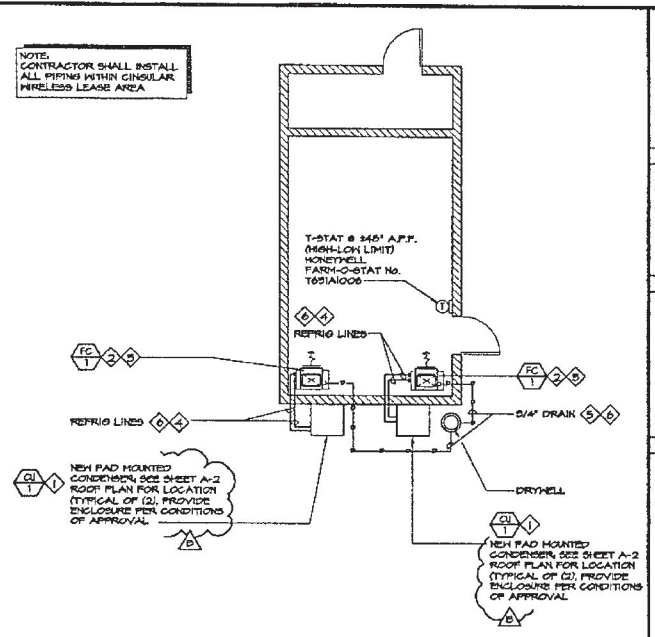
- SITE TEMPERATURE CONTROL IS TO BE PROVIDED BY (1) AIR CONDITIONING UNIT EQUIPPED WITH 1-STAGE COOL HALL THERMOSTATS PROVIDED BY CONTRACTOR. SYSTEM IS TO OPERATE 24 HOURS A DAY, 7 DAYS A WEEK, 365 DAYS A YEAR AND SHALL MAINTAIN SPACE @ 76 DEG. F. (+/- 2 DEG).
- VENTILATION FAN #1 SHALL BE ENERGIZED EVERY 12 HOURS FOR A FIVE MINUTE DURATION FOR SPACE PURGE. A TIME SWITCH PARASON MODEL #8028-001 MOUNTED ON HALL SHALL OPERATE FAN AND MOTORIZED DAMPER. SEE PARSON SCHEMATIC, SHEET M-2.

LEGEND AND SYMBOLS

SYMBOLS	ABBREVIATIONS	DESCRIPTION
		EXIST. PIPE DUCT OR EQUIPMENT TO REMAIN
		EXIST. PIPE DUCT OR EQUIPMENT TO BE REMOVED
		NEW PIPE DUCT OR EQUIPMENT
	S.A.	SUPPLY AIR (FLOW DIRECTION DUCT SECTION DUCT RISER OR DIFFUSER)
	R.A.	RETURN AIR (FLOW DIRECTION DUCT SECTION DUCT RISER OR DIFFUSER)
	E.A.	EXHAUST AIR (FLOW DIRECTION DUCT SECTION DUCT RISER OR DIFFUSER)
	VD	VARIABLE VOLUME DAMPER AND MOTORIZED DAMPER FLEXIBLE CONNECTION
	FD	FUSIBLE LINK FIRE DAMPER
	RL	REFRIGERANT LIQUID PIPING
	RS	REFRIGERANT SUCTION PIPING
	D	COOLING COIL, CONDENSATE OR EQUIPMENT DRAIN PIPING
		SHUT-OFF GATE VALVE
		UNION
		HALL THERMOSTAT
		EQUIPMENT IDENTIFICATION
		EQUIPMENT CALLOUT SYMBOL
		DESIGNATED NUMBER TO EQUIPMENT
		SHEET NOTE
	A.P.F.	ANNUAL PERFORMANCE FACTOR
	S.E.E.R.	SEASONAL ENERGY EFFICIENCY RATING
	E.P.F.	EFFICIENCY
	MAX.	MAXIMUM
	MIN.	MINIMUM
	N/C.	NOT IN CONTRACT
	P.O.C.	POINT OF CONNECTION
	TYP.	TYPICAL

LEGEND AND SYMBOLS

- ◇ INSTALL CONDENSING UNIT ON HOUSE KEEPING SLAB ANCHOR PER MANUFACTURERS INSTRUCTIONS.
- ◇ INSTALL FAN COIL UNIT AGAINST WALL PER MANUFACTURERS INSTRUCTIONS AND PER DETAILS INDICATED ON DRAWINGS.
- ◇ TITUS MODEL VPS-20SL DOUBLE DEFLECTION SUPPLY REGISTER, 20" X 20" AND TITUS MODEL VPS-30R FIXED DEFLECTION RETURN GRILLE.
- ◇ INSTALL REFRIGERANT (LIQUID AND SUCTON) LINES FROM FAN COIL UNIT TO CONDENSER PER MANUFACTURERS INSTRUCTIONS. PACK FIBERGLASS INSULATION AND SEALING MATERIAL, I.E. PERMA-GUM, AROUND REFRIGERANT LINES WHERE THEY PENETRATE A ROOF OR WALL TO RETAIN SOME FLEXIBILITY. SUCTON AND LIQUID LINES SHALL BE SIZED PER MANUFACTURERS RECOMMENDATIONS.
- ◇ ROUTE CONDENSATE DRAIN TO DRYWELL. PIPE SHALL BE TYPE "K" COPPER.
- ◇ INSTALL NO PIPING ABOVE RADIO EQUIPMENT



MECHANICAL FLOOR PLAN
SCALE: 1/4"=1'-0"

SPACE ENVIRONMENTAL CONTROL NOTES

- THE SITE HVAC SYSTEMS ARE TO BE MONITORED FOR CHANGES IN TEMPERATURE (HIGH & LOW TEMPERATURE) ALARM THERMOSTATS, (2) HONEYWELL FARM-O-STATS NO. T851A006). ELECTRICAL CONTRACTOR TO PROVIDE CONDUIT AND SIGNAL WIRING TO EXTERNAL ALARM PANEL. SEE ELECTRICAL DWGS.
- CONNECTION OF SITE ENVIRONMENTAL SENSING DEVICES TO 24 HR EXTERNAL ALARM STATION BY ELECTRICAL. REFER TO ELECTRICAL DWGS.

HVAC EQUIPMENT SCHEDULE

SYMBOL	DESCRIPTION
	OUTDOOR AIR COOLED CONDENSING UNIT CARRIER MODEL 50K2000 (5-TON) 34200 BTU/HR. NET TOTAL COOLING CAPACITY (AT 105 DEG. F. AMBIENT) 31400 BTU/HR. NET TOTAL SENSIBLE COOLING CAPACITY (AT 105 DEG. F. AMBIENT) MINIMUM SEER: 10.0 ELECTRICAL: 208/230 V., 1 PH., 60 HZ. COMPRESSOR, RLA: 22.4 LRA: 105.0 CONDENSER FAN, RLA: 1.4 MCA: 97.3 MFS: 60 AMP OPER. HT.: 255 LBS. PROVIDE IV INDOOR TIME DELAY RELAY, LOW AMBIENT OPERATION KIT, COMPRESSOR ANTI-CYCLE DEVICE, REFRIGERANT LOW PRESSURE SWITCH.
	INDOOR FAN COIL UNIT CARRIER MODEL FBAAC60 (5-TON) 2000 CFM @ 0.50" E.S.P. 60,000 BTU COOLING ELECTRICAL: 208/230 V., 1 PH., 60 HZ. FAN MOTOR, FLA: 5.0 MCA: 4.5 MFS: 15 AMP FILTER: 10 21 1/2" X 16 5/8" OPER. HT.: 175 LBS.
	CONDENSATE PUMP LITTLE GIANT MODEL VCL-24L 175 GPH @ 15' HEAD ELECTRICAL: 115V. 1HP. 60HZ. 1/2HP MOTOR WITH 1 GAL. CAPACITY TANK OPER. HT.: 10 LBS.

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JOB NUMBER: 05048 DRAWN BY: G.C.
CHECKED BY: S.B. DATE: 07-14-08
ISSUED FOR: CLIENT REVIEW
SIT. NUMBER: RS0029-01-P5-B1

SCALE: 1/4"=1'-0"

MECHANICAL FLOOR PLAN NOTES AND SPECIFICATIONS
SHEET NUMBER: **M-1**

CITY PROJECTS NUMBER: (PAC-0148)

Attachment: Telecommunications License Executed Agreement Cingular - Weston Park (5839 : First

LEGEND

— LOW VOLTAGE

— LINE VOLTAGE WIRING

(M) ITEMS FURNISHED AND INSTALLED BY THE MECHANICAL CONTRACTOR

(E) ITEMS FURNISHED, INSTALLED & WIRED BY THE ELECTRICAL CONTRACTOR

ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL LINE VOLTAGE CONDUIT AND WIRING AND LOW VOLTAGE CONDUIT

THERMOSTATS SHALL BE LOCATED 5'-0" ASV, THE FINISHED FLOOR OR AT THE SAME HEIGHT OF ANY ADJACENT ELECTRICAL SWITCHES

REFER TO MANUFACTURERS MANUAL FOR RECOMMENDED FUSE AND WIRE SIZE

ALL SWITCHES, ELECTRICAL STARTERS AND CONTACTORS NOT AN INTEGRAL PART OF THE AIR CONDITIONING EQUIPMENT ARE TO BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR EXCEPT AS NOTED TO THE CONTRARY

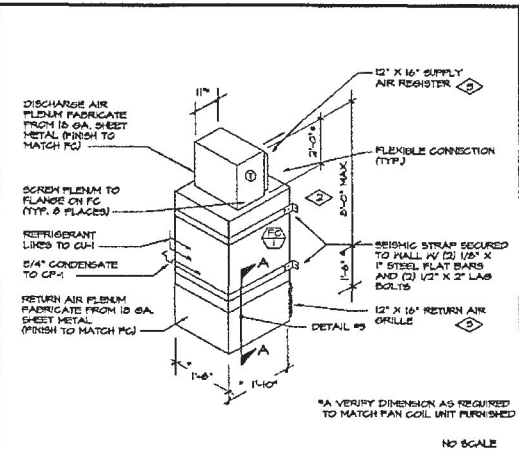
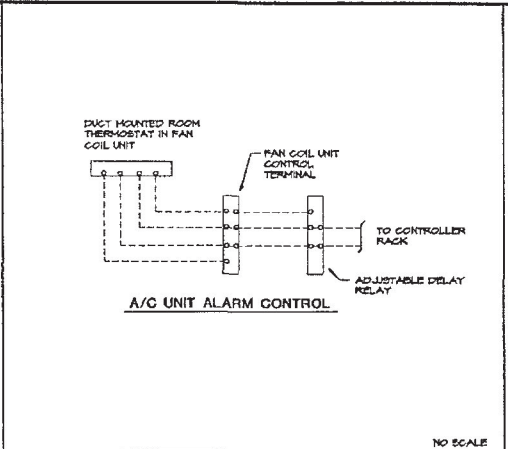
THE CONTRACTOR IS TO MAKE CONNECTIONS TO DEVICES FOR THE AUTOMATIC CONTROL OF THE HVAC INCLUDING AUTOMATIC VALVES AND COMPONENTS WHICH ARE A PART OF THE A/C PIPING SYSTEMS

ALL FINAL CONNECTIONS TO THE EQUIPMENT ARE TO BE OF FLEXIBLE HEATHERPROOF CONDUIT TO MEET UNIFORM BUILDING CODES. MECHANICAL CONTRACTOR TO FURNISH AND INSTALL LOW VOLTAGE WIRING

SMOKE DETECTOR SHALL BE SUPPLIED AND WIRED BY THE ELECTRICAL AND INSTALLED BY THE MECHANICAL CONTRACTOR

GENERAL NOTE (TYPICAL FOR A.U. SYSTEMS)

CONTROL DIAGRAMS ARE SCHEMATIC AND ACTUAL WIRING OF ALL EQUIPMENT SHALL BE PERFORMED BASED ON EITHER MANUFACTURERS RECOMMENDED CONTROL DIAGRAMS OR MECHANICAL CONTROL CONTRACTORS APPROVED SHOP DRAWINGS. WRITER APPROVALS ON ALL EQUIPMENT AND CONTROL WIRING DIAGRAMS ARE REQUIRED



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CHECKED BY: S.B.
DATE: 01-14-08

ISSUED FOR: CLIENT REVIEW

SHEET NUMBER: RS0029-01-P5-B1

NO. 4 27111
REGISTERED PROFESSIONAL ARCHITECT
STATE OF CALIFORNIA

SITE ADDRESS

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MORENO VALLEY, CA 92553

APPROVAL TYPE

BUILDING PERMIT

SHEET TITLE

MECHANICAL DETAILS

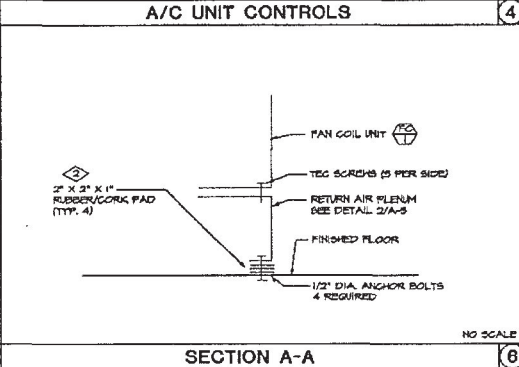
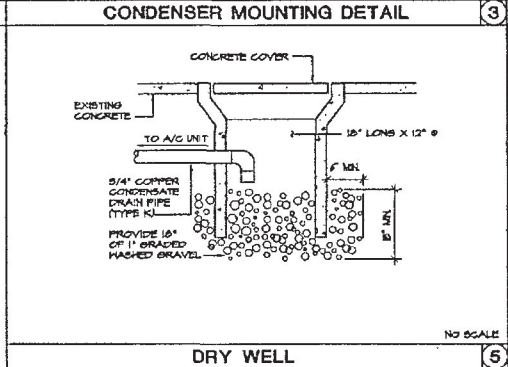
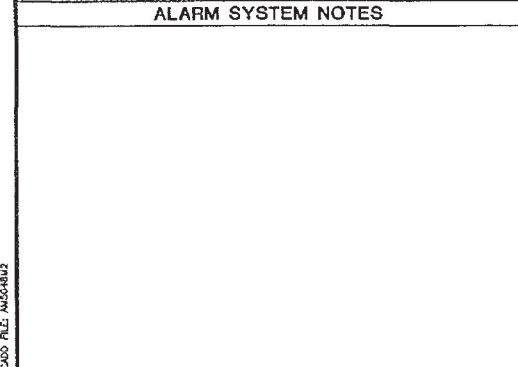
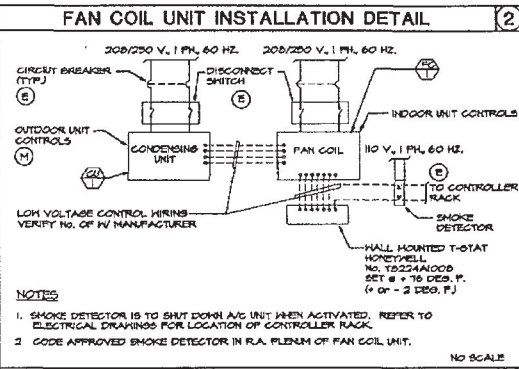
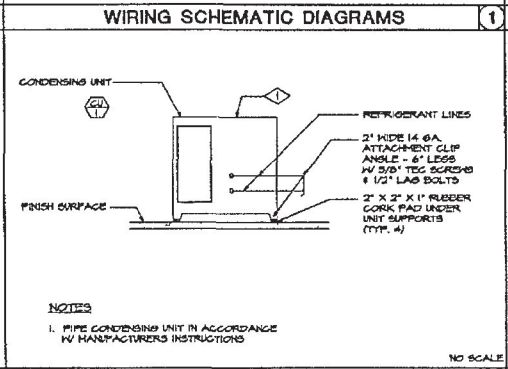
SHEET NUMBER

M-2

CITY PROJECTS NUMBER (PAOS-046)

GENERAL WIRING NOTES

- DUCT MOUNTED T-STAT (DAYTON # 28206) CONTROLLED BY ADJUSTABLE TIME DELAY RELAY MOUNTED IN FAN COIL CABINET SET TO MAKE AT FIVE MINUTES. DELAY RELAY SHALL SEND SIGNAL TO SITE ALARM CONTROL PANEL. IF S.A. TEMPERATURE IN FAN COIL DISCHARGE PLENUM DOES NOT FALL BELOW 15 DEG. F. FIVE MINUTES AFTER THE ROOM THERMOSTAT CALLS FOR COOLING.
- PROVIDE A CONNECTION NORMALLY CLOSED / NORMALLY OPEN CONTACT RELAY FOR FAN COIL UNIT AND INTERLOCK W/ SMOKE DETECTOR INSTALLED IN R.A. PLENUM (VERIFY VOLTAGE). SMOKE DETECTOR IS TO SHUT DOWN FAN COIL UNIT UPON DETECTION OF SMOKE AND SEND ALARM SIGNAL TO SITE ALARM CONTROL PANEL.



NO SCALE

NO SCALE

NO SCALE

NO SCALE

NO SCALE

CADD FILE: M2029A12

CITY PROJECTS NUMBER (PAOS-046)

GENERAL NOTES:

- DESIGN CRITERIA:
DESIGN CODE: 2001 CALIFORNIA BUILDING CODE (CBC) TITLE 24.
SEISMIC ZONE = 4 SOK. PROFILE = TYPE SD
NEAR SOURCE FACTOR $N_{vs} = 1.3$ WIND SPEED = 70 M.P.H.
NEAR SOURCE FACTOR $N_{ws} = 1.8$ WIND EXPOSURE = C
- ALL MATERIALS AND WORK PERFORMED SHALL CONFORM WITH THE REQUIREMENTS OF THE 2001 CBC TITLE 24 AND GOVERNING BUILDING ORDINANCES AND THE GREENBOOK FOR PUBLIC WORKS PROJECTS 2003 EDITION.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.
- WHERE A SECTION OR TYPICAL DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THIS ENGINEER. UNAUTHORIZED CHANGES RENDER THESE DRAWINGS VOID.
- ANY REFERENCE TO THE WORDS APPROVED, OR APPROVAL IN THESE DOCUMENTS SHALL BE HERE DEFINED TO MEAN GENERAL ACCEPTANCE OR REVIEW AND SHALL NOT RELIEVE THE CONTRACTOR AND/OR HIS SUB-CONTRACTORS OF ANY LIABILITY IN FURNISHING THE REQUIRED MATERIALS OR LABOR SPECIFIED.
- THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES INCLUDING BUT NOT LIMITED TO BRACING & SHORING, OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT OR ENGINEER SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES.
- GENERAL CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY ALL GRADES, DIMENSIONS, AND CONDITIONS PRIOR TO BIDDING AND COMMENCING CONSTRUCTION. ALL DIMENSIONS CONTROLLED BY EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH THE EXECUTION OF THIS WORK.
- GENERAL CONTRACTOR SHALL NOTIFY THE ENGINEER AND ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES FOUND WITHIN THE CONTRACT DOCUMENTS, PRIOR TO STARTING WORK.

CONCRETE:

- ALL CONCRETE MATERIALS AND WORKMANSHIP SHALL CONFORM TO CHAPTER 19 OF THE CBC AND TO ALL REQUIREMENTS OF ACI 301-96, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS," EXCEPT AS SPECIFIED HEREIN.
- MIX DESIGN REQUIREMENTS:
A. CEMENT SHALL BE TYPE II.
B. COMPRESSIVE STRENGTH = 3250 PSI
C. CONCRETE SLUMP SHALL NOT EXCEED 4".
- ALL REINFORCING STEEL SHALL BE SECURED IN POSITION AND INSPECTED BY THE BUILDING OFFICIAL PRIOR TO PLACING CONCRETE.

REINFORCING STEEL:

- REINFORCING STEEL SHALL CONFORM TO ASTM A-615 GRADE 60 UNLESS OTHERWISE NOTED.
- BARS SHALL BE CLEAN OF MUD, OIL, OR OTHER COATINGS LIKELY TO IMPAIR BONDING.
- ALL REINFORCING SHALL BE SECURED IN PLACE PRIOR TO INSPECTIONS, PLACING CONCRETE, OR GROUTING MASONRY.
- REINFORCING STEEL SHALL BE SPLICED AS SHOWN OR NOTED SPLICES AT OTHER LOCATIONS SHALL BE REVIEWED BY THE STRUCTURAL ENGINEER. ALL VERTICAL WALL REINFORCEMENT SHALL BE CONTINUOUS BETWEEN SPLICE LOCATIONS SHOWN IN THE DETAILS.

FRAMING LUMBER:

- ALL VISUALLY GRADED FRAMING LUMBER SHALL CONFORM TO THE GRADING RULES SET FORTH BY THE WEST COAST LUMBER INSPECTION BUREAU (WCLIB) OR THE WESTERN WOOD PRODUCTS ASSOCIATION (WWPA). EACH PIECE SHALL BEAR THE GRADE STAMP OF AN APPROVED GRADING AGENCY, EXCEPT EXPOSED LUMBER SHALL BEAR NO MARKINGS WHICH WILL BE VISIBLE AFTER INSTALLATION.
- FRAMING LUMBER SHALL BE DOUGLAS FIR-LARCH, UNLESS OTHERWISE NOTED. 2X AND 4X SAWN LUMBER SHALL HAVE A KNOTLINE CONTENT NOT MORE THAN 12% AT TIME OF FABRICATION. ALL LUMBER SHALL BE SAWWOOD. (NO HEARTWOOD ALLOWED) THE FOLLOWING GRADES SHALL BE THE MINIMUM ACCEPTABLE GRADES, UNLESS OTHERWISE NOTED:
ITEM MINIMUM GRADE
STUDS:
2" THICK, 4" WIDE (STUD HT. = 8"-1" MAX.).....NO. 2
2" THICK, 4" x 8" WIDENO. 2
STRUCTURAL JOISTS AND LIGHT FRAMING:
2" TO 4" THICK, 4" AND WIDERNO. 1
BEAMS AND STRINGERS:
6" AND THICKER, 6" AND WIDERNO. 1
POST AND TIMBERS:
6" x 6" AND LARGERNO. 1
- STRUCTURAL PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS 1-09. STRUCTURAL USE PANELS SHALL CONFORM TO PS 2-92 (APA PRP-108). APA GRADE STAMP SHALL BE PROVIDED ON ALL SHEATHING. SHEATHING SHALL BE EXPOSURE 1 (EXTERIOR GLUE) WITH FACE 2X4 OR ACROSS SUPPORTS EXCEPT WHERE NOTED ON PLANS OR DETAILS. PROVIDE GAPS AT ALL EDGES AS RECOMMENDED BY APA. ROOF AND FLOOR SHEATHING AND SHEAR WALL PANELS SHALL BE IN PLACE AND INSPECTED BY THE BUILDING OFFICIAL PRIOR TO COVERING.
- ALL GLUE LAMINATED MEMBERS AS SHOWN ON PLANS SHALL BE IN ACCORDANCE WITH A.N.S.I. A192. INSPECTION CERTIFICATES SHALL BE FURNISHED WITH EACH BEAM. SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW. GLUE LAMINATED MEMBERS SHALL BE OF INDUSTRIAL APPEARANCE WITH EXTERIOR GLUE. THE FOLLOWING DOUGLAS FIR SPECIES COMBINATIONS SHALL BE THE MINIMUM:
SIMPLE SPAN BEAM: 24F-V4
CANTILEVERED BEAMS: 24F-V6
- FRAMING HARDWARE SHALL BE SWIMSON "STRONG TIE" OR EQUAL, UNLESS OTHERWISE NOTED. SUBSTITUTIONS SHALL BEAR I.C.B.O. APPROVAL.
- NAILING SCHEDULE, TYPICAL UNLESS OTHERWISE NOTED ON DRAWINGS:
CONNECTION COMMON NAILS
JOIST TO SILL OR GROUND, TOE NAIL 3 - 8d
BRIDGING TO JOIST, TOE NAIL, EACH END 2 - 8d
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL 16d @ 18" o.c.
TOP PLATE TO STUD, END NAIL (4) 8d TOE NAILS OR (2) 16d END NAILS
DOUBLE END, FACE NAIL 16d @ 24" o.c.
DOUBLE TOP PLATES, FACE NAIL 16d @ 18" o.c.
TOP PLATES, LAPS & INTERSECTIONS, FACE NAIL 2 - 16d
CONT. RAFTER 2 PIECES, FACE NAIL ALONG EDGES 16d @ 18" o.c.
GIRING JOISTS TO PLATE, TOE NAIL 3 - 8d
4 - 8d L
CONT. RAFTER TO STUD, TOE NAIL 3 - 16d
GIRING JOISTS, LAPS OVER PARTITIONS, FACE NAIL 3 - 16d
CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL 3 - 8d
RAFTER TO PLATE, TOE NAIL 3 - 8d
6x6-10' CORNER STUDS 16d @ 24" o.c.

ADDITIONAL NAILING NOTES:

- ALL NAILS SHALL BE COMMON NAILS IN CONFORMANCE WITH FEDERAL SPECIFICATION F7-1-1053, UNLESS OTHERWISE SPECIFIED ON DRAWINGS. SINKERS SHALL NOT BE SUBSTITUTED UNLESS SPECIFICALLY APPROVED BY THIS ENGINEER.
- ALL NAILS EXPOSED TO THE WEATHER SHALL BE GALVANIZED.
- TOE NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES TO THE PIECE SURFACE AND BE STARTED AT 1/3 THE LENGTH FROM THE EDGE OF THE PIECE.
- WOOD SCREWS SHALL BE IN CONFORMANCE WITH A.N.S.I. B18.6.1.
- BOLTS AND LAG SCREWS SHALL CONFORM TO A.N.S.I. B18.2.1. ALL BOLTS THRU WOOD SHALL HAVE STANDARD CUT WASHERS EXCEPT WHERE METAL SIDE PLATES ARE SPECIFIED. BOLT HOLES SHALL BE BORED 1/32" TO 1/16" LARGER THAN THE BOLT DIAMETER, UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL INSTALL A SWIMSON BR-6/8-5 WITH (4) SDS 1/4" x 1 1/2" SCREWS AT ALL HOLES LARGER THAN 1/16" OVERSIZED AT NO ADDITIONAL COST. ALL BOLTS SHALL BE RETIGHTENED PRIOR TO APPLICATION OF PLASTER, PLYWOOD, ETC.
- ALL WOOD BEARING ON CONCRETE OR MASONRY IS LESS THAN 4"-0" ABOVE GRADE SHALL BE PRESSURE TREATED DOUGLAS FIR.
- STRUCTURAL MEMBERS SHALL BE NOT CUT FOR PIPES, ETC. UNLESS SPECIFICALLY NOTED OR DETAILED.

CONSTRUCTION NOTES

MASONRY:

- ALL MASONRY MATERIALS AND CONSTRUCTION SHALL CONFORM TO CHAPTER 21 OF THE CBC AND TO ALL REQUIREMENTS OF "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 330.1/ASCE 6-86) PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE.
- CONCRETE MASONRY UNITS FOR HOLLOW UNIT MASONRY CONSTRUCTION SHALL BE MEDIUM WEIGHT GRADE "N" UNITS CONFORMING WITH ASTM C-90. SEE ARCHITECTURAL FOR TYPE (FINISH), PATTERN, AND JOINT DETAILS. PROVIDE RUNNING BOND U.O.N. CONCRETE MASONRY UNITS SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH = 1900 PSI.
- MORTAR SHALL BE FRESHLY PREPARED AND UNIFORMLY MIXED. MORTAR SHALL BE TYPE "M" OR "S" WITH A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 2,000 PSI AT 28 DAYS. MORTAR SHALL MATCH BLOCK COLOR.
- GROUT SHALL BE PROPORTIONED BY VOLUME AND SHALL HAVE SUFFICIENT WATER ADDED TO PRODUCE CONSISTENCY FOR POURING WITHOUT SEGREGATION. GROUT SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH (7 DAYS) OF 2,500 PSI AT 28 DAYS. PROVIDE CLEAN OUT OPENINGS WHERE GROUT LIFT EXCEEDS 4'-0".
- GROUT ALL CELLS.
- ALL REINFORCING STEEL SHALL BE SECURED IN POSITION PRIOR TO GROUTING.
- PROVIDE CONTROL JOINTS AT 48'-0" o.c. MAX.
- SPECIAL INSPECTION IS REQUIRED FOR MASONRY IN ACCORDANCE WITH CODE SECTION 1701.5.7.2

SPECIAL INSPECTION REQUIREMENTS:

- THIS SECTION APPLIES TO THE STRUCTURAL PORTIONS OF THE PROJECT REQUIRING SPECIAL INSPECTION. REFER TO CBC 1701.3 AND 1701.5 FOR SPECIAL INSPECTOR'S DUTIES.
- ALL TESTS AND INSPECTIONS SHALL BE PERFORMED BY AN INDEPENDENT TESTING AND INSPECTION AGENCY EMPLOYED BY THE OWNER OR ARCHITECT AND NOT THE CONTRACTOR PER CBC SECTION 108.3.5.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A SCHEDULE TO THE TEST AND INSPECTION FIRM TO FACILITATE THE PROPER COORDINATION OF WORK.
- PORTIONS OF WORK REQUIRING SPECIAL INSPECTION:
CONCRETE:
A. CONTINUOUS INSPECTION AND TEST CYLINDERS FOR STRUCTURAL CONCRETE INCLUDING FOUNDATION CONCRETE OF 3250 PSI.
REINFORCING STEEL:
A. PLACING OF REINFORCING.
WELDING:
A. ALL STRUCTURAL WELDING EXCEPT WELDING IN APPROVED SHOPS PER CBC 1701.7.
B. REINFORCING STEEL WELDING PER CBC 1701.5.3
BOLTING:
A. ADHESIVE ANCHORS IN CONCRETE, MASONRY, OR GROUT.
MASONRY:
A. SPECIAL INSPECTION REQUIRED FOR MASONRY IN ACCORDANCE WITH CODE SECTION 1701.5.7.2.

FOUNDATION:

- DESIGN IS BASED ON CBC TABLE 16-1A.
ALLOWABLE BEARING:
1000 PSF W/ INCREASES FOR DEPTH
4000 PSF MAX.
LATERAL BEARING:
100 PSF

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CHECKED BY B.R.	DATE 01-14-08
REVISE FOR:	CLIENT REVIEW

SITE NUMBER
RS0029-01-P5-B1



SITE ADDRESS
**13170 LASSELLE ST.
MORENO VALLEY, CA 92553**

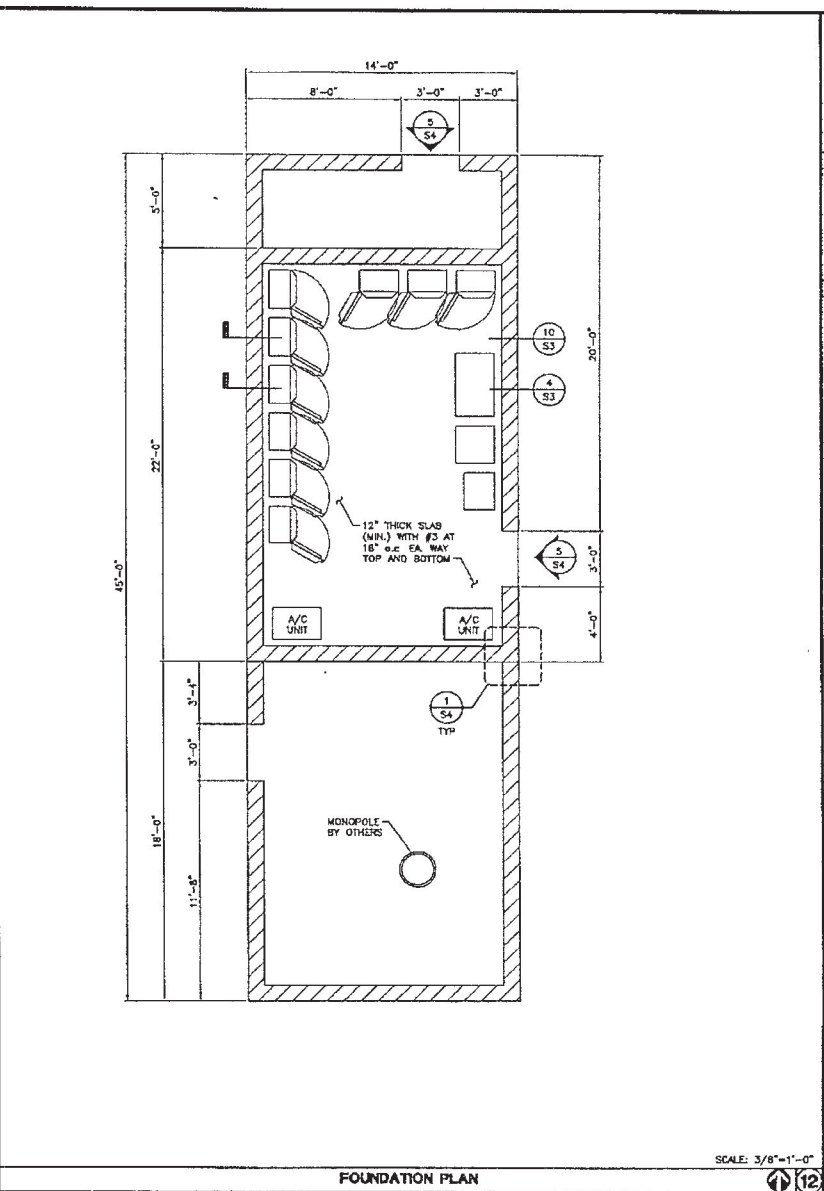
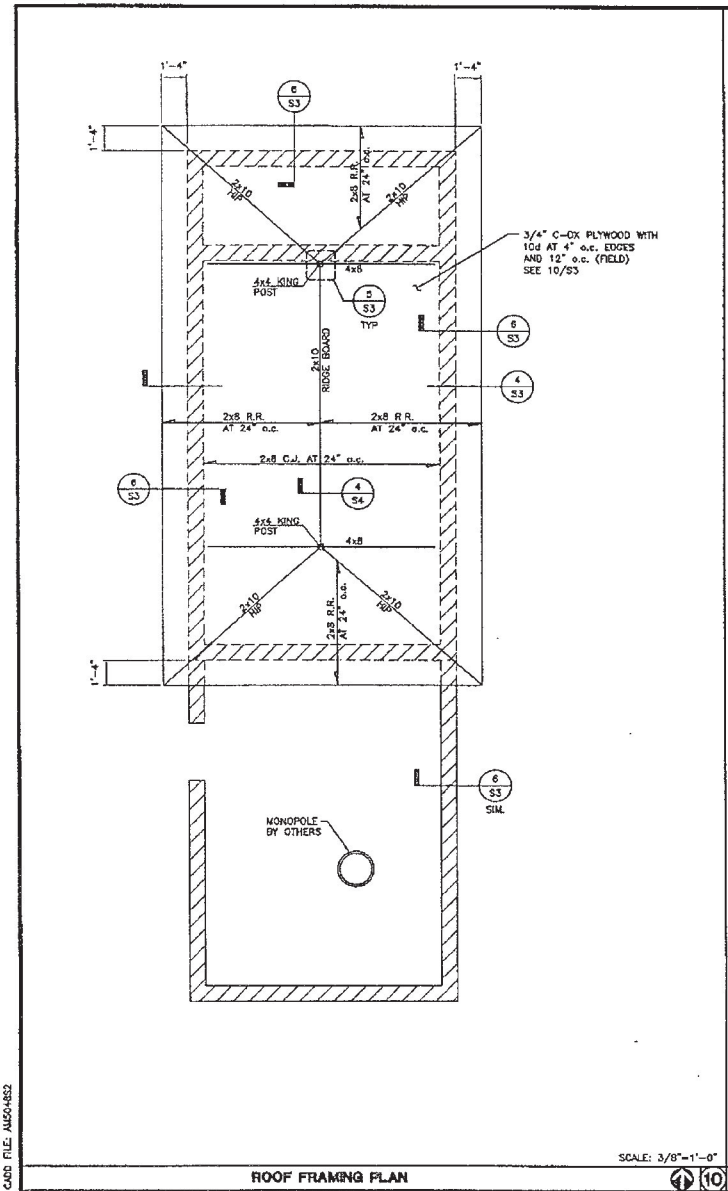
APPROVAL TYPE
BUILDING PERMIT
SHEET TITLE

CONSTRUCTION NOTES

SHEET NUMBER
S-1

CADD FILE: A058363

CITY PROJECTS NUMBER (PA05-048)



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 Ingsen
 consulting
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 250 E. RINGGON STREET
 SUITE NO. 100
 CORONA, CALIFORNIA 92714
 PHONE: 951-271-2057
 FAX: 951-271-8434

ADD NUMBER: 05048
 DRAWN BY: S.J.
 CHECKED BY: B.E.
 DATE: 01-14-08

REVISION TOP
 CLIENT REVIEW
 RS0029-01-P5-B1

STATE OF CALIFORNIA
 ARCHITECTS & ENGINEERS
 REGISTRATION BOARD
 NO. C 21416
 Exp. 11-11-08

SITE ADDRESS
 13170 LASSELLE ST.
 MORENO VALLEY, CA 92553

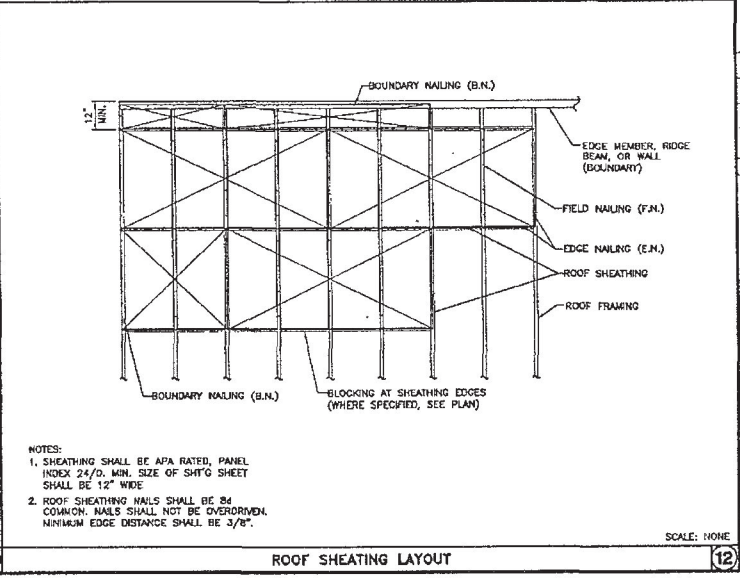
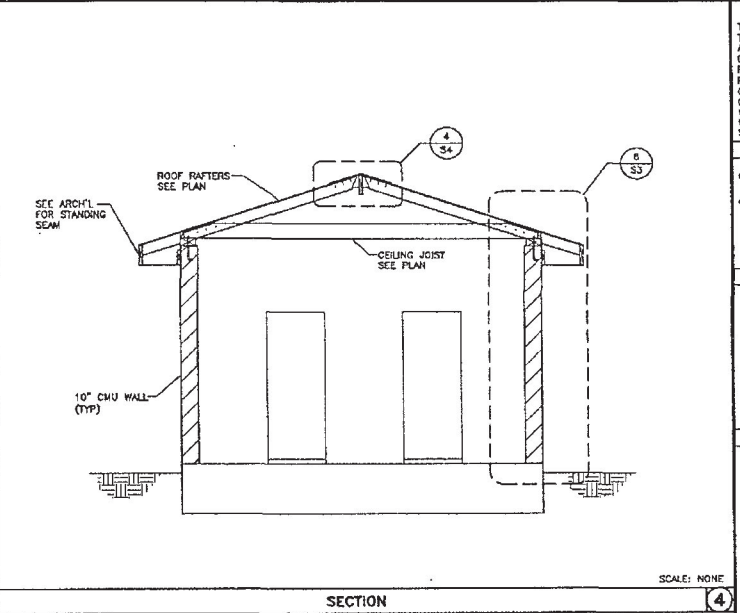
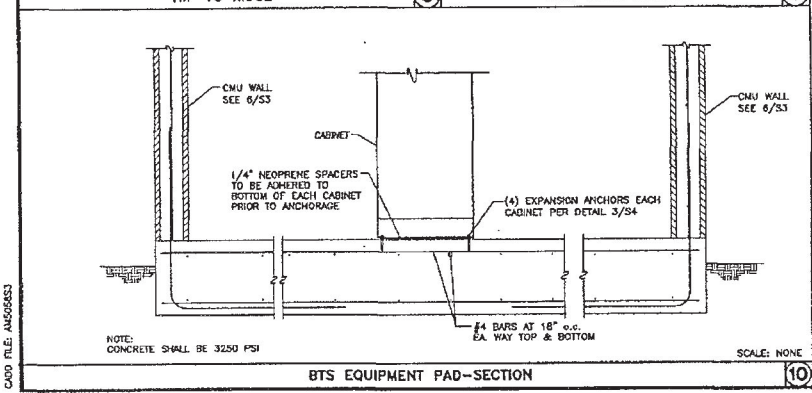
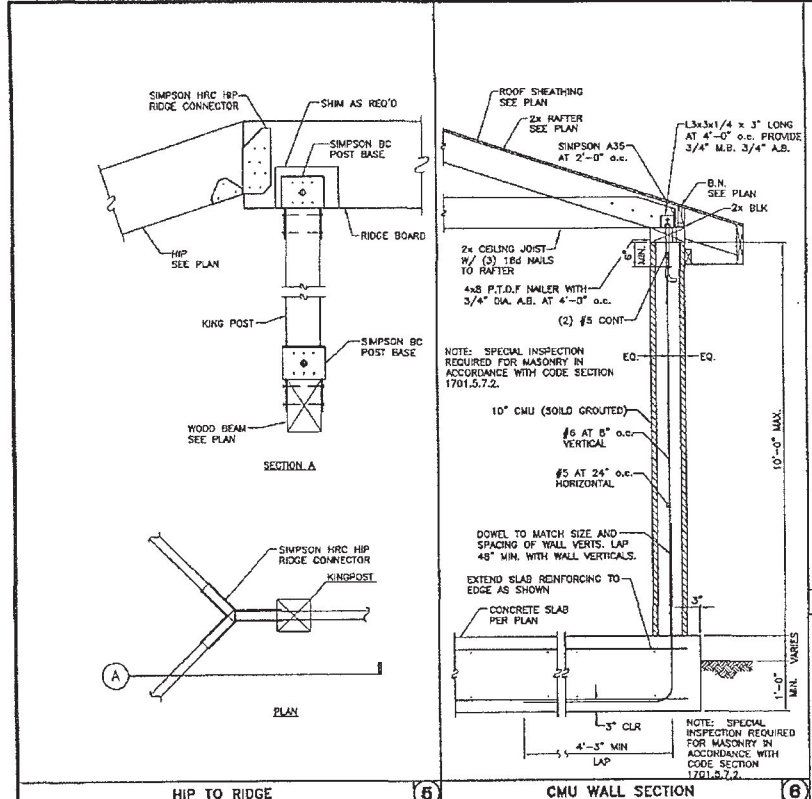
APPROVAL TYPE
BUILDING PERMIT

SHEET TITLE
CONSTRUCTION PLAN AND DETAILS

SHEET NUMBER
S-2

CITY PROJECTS NUMBER (PA05-0149)

Attachment: Telecommunications License Executed Agreement Cingular - Weston Park (5839 : First



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JOB NUMBER: 05048
 SHEET BY: S.J.
 CREATED BY: S.B.
 DATE: 01-14-08
 FOUND FOR: CLIENT REVIEW

SITE NUMBER: **RS0029-01-P5-B1**

SITE ADDRESS
 1370 LASSELLE ST.
 MORENO VALLEY, CA 92553

APPROVAL TYPE
BUILDING PERMIT

SHEET TITLE
CONSTRUCTION DETAILS

SHEET NUMBER
S-3

CITY PROJECTS NUMBER (PACS-0148)

CADD FILE: AM565653

CITY PROJECTS NUMBER (PACS-0148)

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JOB NUMBER: 05048
 CHECKED BY: S.B.
 ISSUED FOR: CLIENT REVIEW
 DRAWN BY: S.J.
 DATE: 01-14-08

SITE NUMBER:
RS0029-01-P5-B1



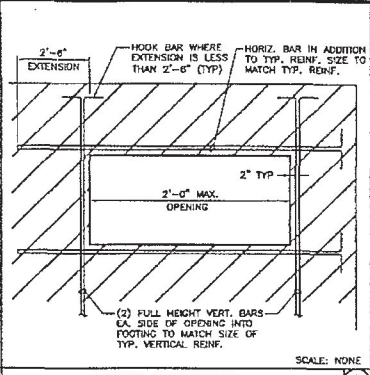
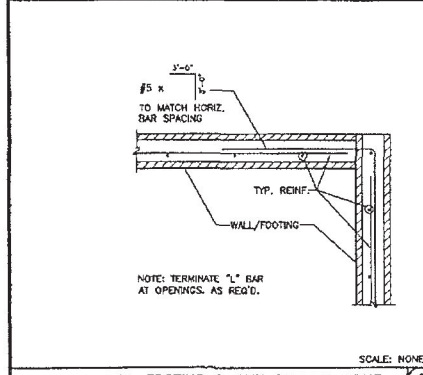
SITE ADDRESS
 13170 LASSELLE ST.
 MORENO VALLEY, CA 92553

APPROVAL TYPE
BUILDING PERMIT

SHEET TITLE
CONSTRUCTION DETAILS

SHEET NUMBER
S-4

CITY PROJECTS NUMBER (PACS-0148)

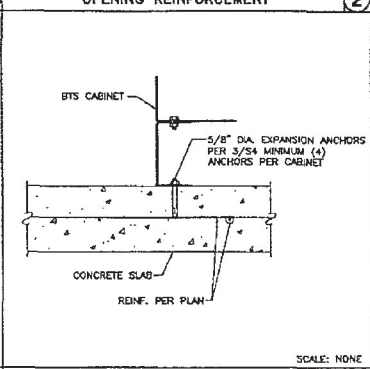
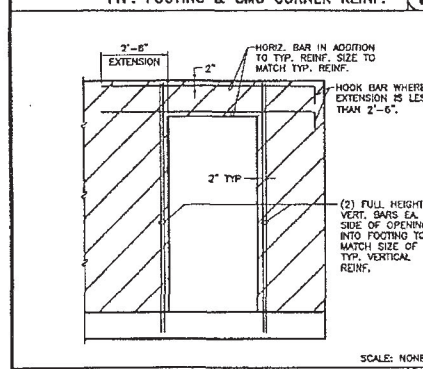


NOTES:

- SUBSTITUTION OF A TRUBOLT WEDGE ANCHOR WITH OTHER EXPANSION ANCHORS MANUFACTURED BY ITW/RAMSET/RED-HEAD OR BY OTHER MANUFACTURERS IS NOT ALLOWED WITHOUT WRITTEN APPROVAL BY THE ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL BEAR THE ENTIRE COST OF REPLACEMENT OF NON-APPROVED ANCHORS.
- THE CONTRACTOR SHALL ACCURATELY LOCATE ALL EXISTING REINFORCING BY X-RAY OR EQUIVALENT METHODS. NO REBAR OR TENDONS SHALL BE CUT. ALL OPENINGS RELATED TO REBAR OR TENDONS SHALL BE ENTERED AT THE EXPENSE OF THE CONTRACTOR.
- SPECIAL INSPECTION IS NOT REQUIRED FOR INSTALLATION OF ANCHORS.
- INSTALLATION OF WEDGE ANCHORS IN MASONRY IS NOT ALLOWED.

BOLT DIA.	HOLE DIA.	EMBEDMENT
5/8"	5/8"	3 1/8"

(1) INFORMATION SHOWN IN THIS TABLE IS IN ACCORDANCE WITH 8000 REPORT CP-1972 AND CITY OF L.A. P.R. 2796.



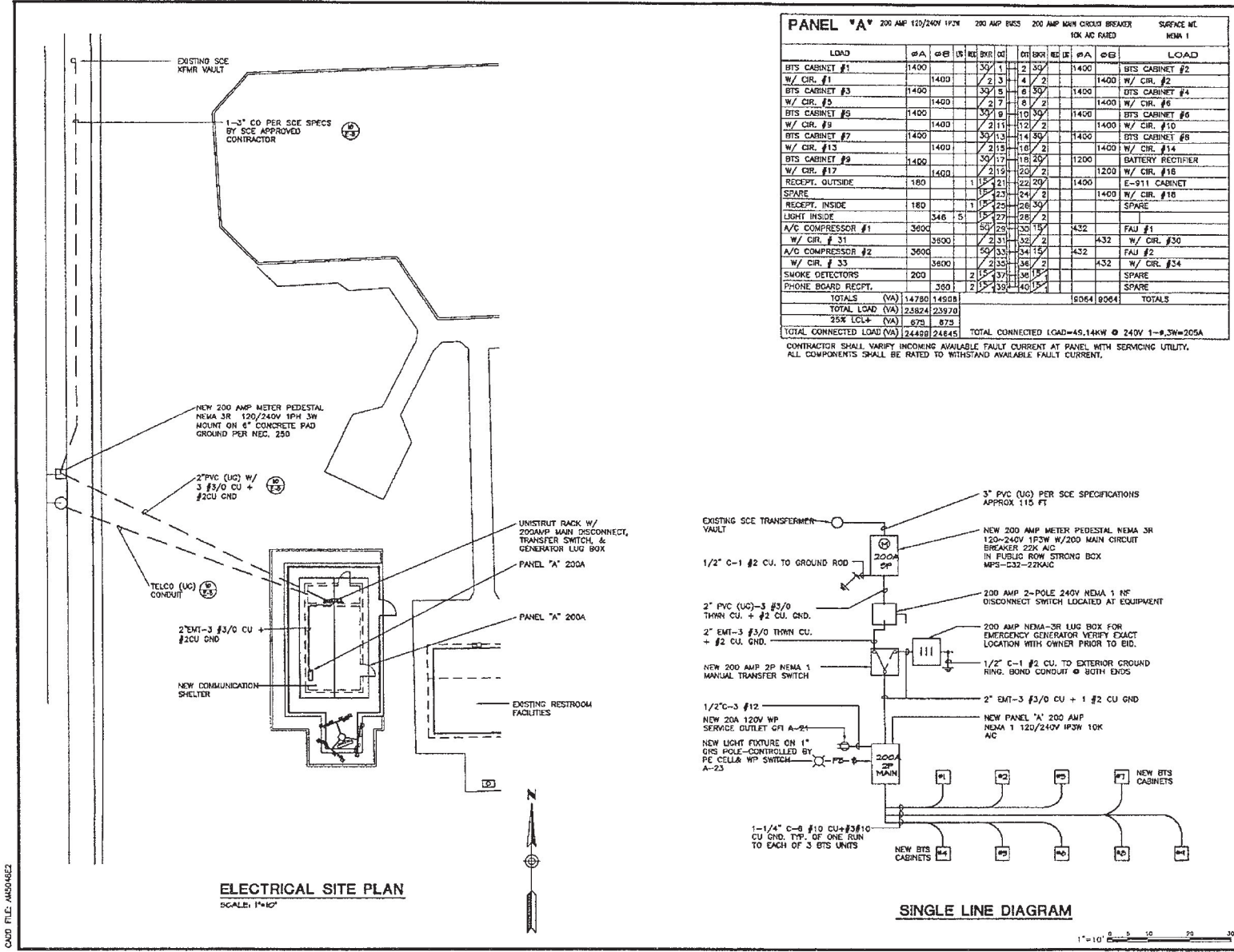
TYP. FOOTING & CMU CORNER REINF. 1	OPENING REINFORCEMENT 2	TRUBOLT WEDGE ANCHOR 3	RAFTER TO RIDGE BOARD 4
5	6		

CAD FILE: M580553

ELECTRICAL SPECIFICATIONS	GENERAL NOTES	GROUNDING NOTES	PROPRIETARY INFORMATION		
<p>1. THE ELECTRICAL INSTALLATION WORK SHALL COMPLY WITH ALL LOCAL, STATE AND NATIONAL CODES, LAWS AND ORDINANCES APPLICABLE TO ELECTRICAL WORK.</p> <p>2. ALL MATERIAL AND EQUIPMENT FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE FREE FROM DEFECTS AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY THE OWNER OR HIS REPRESENTATIVE. SHOULD ANY TROUBLE DEVELOP DURING THIS PERIOD DUE TO FAULTY WORKMANSHIP, MATERIAL OR EQUIPMENT, THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIAL AND LABOR TO CORRECT THE PROBLEM WITHOUT COST TO THE OWNER.</p> <p>3. ALL ELECTRICAL MATERIALS AND EQUIPMENT SHALL BE LISTED BY UNDERWRITERS LABORATORIES.</p> <p>4. ALL WORK TO BE EXECUTED IN A WORKMANLIKE MANNER AND SHALL PRESENT A NEAT MECHANICAL APPEARANCE WHEN COMPLETED.</p> <p>5. ELECTRICAL CONTRACTOR SHALL COORDINATE ALL WORK WITH MECHANICAL AND ARCHITECTURAL PLANS THE REQUIREMENTS OF ALL EQUIPMENT ACTUALLY BEING INSTALLED SHALL BE VERIFIED PRIOR TO INSTALLING THE ELECTRICAL WORK.</p> <p>6. INTERRUPTION OF ELECTRICAL POWER TO ANY PART OF THE BUILDING SHALL BE CAREFULLY PLANNED TO KEEP THE AMOUNT AND LENGTH OF "DOWN TIME" TO A MINIMUM. SUCH INTERRUPTIONS SHALL BE SCHEDULED AND CAREFULLY COORDINATED WITH THE OWNER ALL WORK SHALL BE PERFORMED AT A TIME CONVENIENT TO THE OWNER.</p> <p>7. ALL EQUIPMENT REMOVED DURING THE DEMOLITION PHASE OF THIS WORK SHALL REMAIN THE PROPERTY OF THE OWNER.</p> <p>8. ALL EXISTING DEVICES, LIGHTING FIXTURES, ETC., DESIGNATED TO BE REUSED SHALL BE CLEANED, LIGHTING FIXTURES RELAMPED AND DAMAGED LENSES REPLACED.</p> <p>9. ELECTRICAL WORK SHALL INCLUDE ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED, INCLUDING BUT NOT LIMITED TO COMPLETE ELECTRICAL SYSTEMS POWER AND LIGHTING, TELEPHONE CONDUIT SYSTEM, SIGNAL SYSTEMS, PANELBOARDS, CONTROL WIRING, GROUNDING, CONDUIT ONLY SYSTEMS, ETC., AS INDICATED ON RADIOLOGY PLANS, MECHANICAL PLUMBING AND ELECTRICAL PLANS AND/OR REQUIRED BY GOVERNING CODES.</p> <p>10. FIXTURES AND DEVICES SHOWN AS EXISTING SHALL REMAIN US.</p> <p>11. ALL BRANCH CIRCUIT CONDUCTORS SHALL BE COPPER TYPE THHN/THWN, #12, AND #10 SOLID, #8 AND LARGER STRANDED.</p> <p>12. ON COMPLETION OF THE WORK, THE INSTALLATION SHALL BE FREE FROM GROUNDS AND SHORT CIRCUITS.</p> <p>13. IN THE EVENT OF A CONFLICT OR INCONSISTENCY BETWEEN ITEMS INDICATED ON THE PLANS AND/OR SPECIFICATIONS OR WITH CODE REQUIREMENTS, THE NOTE, SPECIFICATION, OR CODE WHICH PRESCRIBES AND ESTABLISHES THE MORE COMPLETE JOB OR HIGHER STANDARD SHALL PREVAIL.</p> <p>14. REFER TO MECHANICAL DRAWINGS FOR THE EXACT LOCATIONS OF EQUIPMENT, RATINGS, RELAYS TIME SWITCHES, SNAP SWITCHES, AND OTHER CONTROL AND AUXILIARY DEVICES AND CONTROL WIRING DIAGRAMS.</p> <p>15. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND PAY FOR ALL PERMITS AND RELATED FEES.</p> <p>16. ELECTRICAL CONTRACTOR SHALL FURNISH AS-BUILT DRAWINGS TO THE ARCHITECTS UPON COMPLETION OF THIS JOB.</p> <p>17. FUSE TYPE SHALL BE BUSS MANN RK1 LOW PEAK FUSE (LPU-RR-200)</p> <p>18. RACEWAYS SHALL BE: RIGID STEEL CONDUIT: ZINC-COATED OR SHERARDIZED HEAVY WALL AS MANUFACTURED BY REPUBLIC TRIANGLE OR EQUAL. RIGID POLYVINYL CHLORIDE CONDUIT (PVC): HEAVY WALLS SCHEDULE 40 AS MANUFACTURED BY CARLON ELECTRICAL VISOGEN OR EQUAL. PVC CONDUIT ONLY BELOW GROUND.</p> <p>19. NEW PANEL BOARDS SHALL BE SQUARE "D" NQ08 OR APPROVED EQUAL BY PARKS AND RECREATION</p> <p>20. OUTLET AND JUNCTION BOXES SHALL BE SIZED PER CODES FOR THE QUANTITY OF WIRES THEY CONTAIN. SEE ARTICLE 370-8 OF NEC. PROVIDE ADDITIONAL BOXES AND EXTENSION RINGS AS REQUIRED.</p> <p>21. MAIN ELECTRICAL SERVICE SHALL BE 200 AMP 1PH 3W 120/240 VOLTS CONTRACTOR SHALL FURNISH AND INSTALL NEW ELECTRICAL METER PEDestal AND MAIN CIRCUIT BREAKER OR FUSED SWITCH TO CONFORM WITH UTILITY COMPANY STANDARDS. ALL ELECTRICAL EQUIPMENT SHALL BE BRACED AND RATED FOR STANDARD AC RATING HIGHER THAN INCOMING FROM UTILITY COMPANY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A LETTER OF CERTIFICATION OF INCOMING AVAILABLE FAULT CURRENT FROM UTILITY COMPANY PRIOR TO ORDERING SERVICE EQUIPMENT.</p> <p>22. CONTRACTOR SHALL INSTALL METER PEDestal, MAIN ELECTRICAL PANEL AND TRANSFER SWITCH SO AS TO MAINTAIN WORKING CLEARANCE PER NEC 110-16A(6).</p> <p>23. EXTERIOR ELECTRICAL CABINETS INCLUDING METER PEDestal SHALL BE 12 GA STAINLESS STEEL VERTICAL PROOF, W/4 BY V.I.T. STRONGBOX.</p>	<p>1. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL ELECTRICAL MATERIALS, EQUIPMENT AND WORK SHOWN ON THESE PLANS ARE NEW TO BE PROVIDED AND INSTALLED BY THE ELECTRICAL CONTRACTOR.</p> <p>2. ELECTRICAL CONTRACTOR SHALL VERIFY VOLTAGES AND HORSE POWER RATING OF ALL MECHANICAL EQUIPMENT. REFER TO MECHANICAL/PLUMBING PLANS AND SPECIFICATIONS FOR ADDITIONAL ELECTRICAL WORK, EQUIPMENT AND CONTROL WIRING TO BE FURNISHED AND/OR INSTALLED BY ELECTRICAL CONTRACTOR.</p> <p>3. PRIOR TO INSTALLING ANY ELECTRICAL THE ELECTRICAL CONTRACTOR SHALL VERIFY EXACT LOCATION AND REQUIREMENTS ON THE JOB AND BY REFERENCE TO ARCHITECTURE, MECHANICAL AND EQUIPMENT SUPPLIERS DRAWINGS. SHOULD THERE BE ANY QUESTIONS OR PROBLEMS CONCERNING THE NECESSARY PROVISIONS TO BE MADE, PROPER DIRECTION SHALL BE OBTAINED BEFORE PROCEEDING WITH ANY WORK.</p> <p>4. ALL STARTERS SHALL BE FURNISHED WITH THREE (3) OVERLOAD RELAYS.</p> <p>5. ALL EXISTING DEVICES, LIGHTING FIXTURES, ETC., DESIGNATED TO BE REUSED SHALL BE CLEANED, LIGHTING FIXTURES RELAMPED AND DAMAGED LENSES REPLACED.</p> <p>6. ELECTRICAL CONTRACTOR SHALL INSTALL AND CONNECT STARTERS, FUSED AND NON-FUSED DISCONNECT SWITCHES, CONTROLS AND OTHER CONTROL DEVICES FURNISHED WITH PACKAGED SYSTEMS WHEN NOT FACTORY MOUNTED.</p>	<p>1. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.</p> <p>2. ALL EXTERIOR GROUNDING AND TOP OF GROUNDING RODS SHALL BE BURIED TO A MINIMUM DEPTH OF 2'-0" BELOW FINISH GRADE, ELECTRIC METER GROUND EXCEPTED.</p> <p>3. ALL GROUNDING CONDUCTORS SHALL BE #2 SOLID TINNED COPPER UNLESS OTHERWISE NOTED.</p> <p>4. NOTIFY PROJECT MANAGER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.</p> <p>5. ALL UNDERGROUND GROUNDING CONNECTORS ARE TO BE CAD WELDED, ABOVE GRADE GROUNDING SHALL BE EITHER CAD WELD OR REVERSIBLE COMPRESSION TYPE AS SPECIFIED ON DRAWINGS.</p> <p>6. ALL GROUNDING INSTALLATION IS TO BE IN ACCORDANCE WITH THE PROJECT MANAGER.</p> <p>7. GROUNDS ARE TO BE INSTALLED A MINIMUM OF 2'-0" FROM SHELTER OR TOWER.</p> <p>8. DATE GROUNDING FLEX CONNECTOR: REFERENCE "CADWELD" CATALOG #AQ402 FOR GATE/POST FLEX CONNECTOR (EXAMPLE: PART NO. A23PFC25-Y-XL FOR 3" POST)</p>	<p>CLIENT</p> <p>cingular™ WIRELESS</p> <p>12900 PARK PLAZA DR. CERRITOS, CA 94703</p> <p>CLIENT REPRESENTATIVE</p> <p>PARSONS</p> <p>2201 DUPONT DRIVE, SUITE 200 IRVINE, CA 92612 PHONE: (949) 477-1251 FAX: (949) 663-9887</p>		
	<p>CONTRACTOR NOTES</p> <p>1. BEFORE SUBMITTING BID, VERIFY EXISTING SITE CONDITIONS, ELECTRICAL SERVICE REQUIREMENTS AND THE EXACT SERVING UTILITY POINTS OF CONNECTION.</p> <p>2. ELECTRICAL CONTRACTOR SHALL VISIT JOBSITE AND VERIFY EXISTING CONDITIONS BEFORE BIDDING AND SHALL INCLUDE IN BID THE NECESSARY COST TO CONSTRUCT THIS PROJECT IN ACCORDANCE WITH THE INTENT OF THE ELECTRICAL DRAWINGS SPECIFICATIONS, AND ALL APPLICABLE CODES.</p> <p>3. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL SWITCHES, CONDUIT, WIRES, BOXES, LIGHT FIXTURES (INCLUDING LAMPS), SERVICE DEVICES, RECEPTILES, SWITCHBOARDS AND PANELBOARDS, ETC. REQUIRED FOR A COMPLETE AND OPERATING ELECTRICAL SYSTEM.</p> <p>4. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMING WITH THE NATIONAL ELECTRICAL CODE, STATE, ALL LOCAL CODES AND ORDINANCES AND ALL OTHER ADMINISTRATIVE AUTHORITIES HAVING JURISDICTION OVER THIS WORK</p> <p>5. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONAL/LOCATION INFORMATION RELATING TO THE ELECTRICAL DRAWINGS.</p> <p>6. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING RELATED TO ELECTRICAL WORK UNLESS OTHERWISE NOTED AND COORDINATED WITH THE GENERAL CONTRACTOR.</p> <p>7. ELECTRICAL CONTRACTOR SHALL VERIFY VOLTAGES AND HORSEPOWER OR KW RATING OF ALL EQUIPMENT REQUIRING ELECTRICAL CONNECTIONS.</p>	<p>ABBREVIATIONS</p> <table style="width: 100%; border: none;"> <tr> <td style="vertical-align: top;"> AC - AIR CONDITIONER AFF - ABOVE FINISH FLOOR AF2 - ABOVE FINISH GRADE ADR - ANTENNA DOWNRIG BUS AGR - ANTENNA GROUND RING AMP - AMPERAGE INTERRUPTING CAPACITY APPR - APPROXIMATE AWG - AMERICAN WIRE GAUGE BRKR - BREAKER BITS - BASE TRANSFORMER STATION C - CONDUIT CB - CIRCUIT BREAKER CKT - CIRCUIT CLP - CURRENT LIMITING FUSES CON - CONDUIT ONLY CU - COPPER DEF - DUAL ELEMENT FUSES EFC - ELECTRICAL CONTRACTOR EGR - EXTERIOR GROUND BUSS EMT - ELECTRICAL METALLIC TUBING (THIN WALL) FBN - FURNISH AND INSTALLED BY OTHER TRADES OR OWNER, CONNECTIONS BY ELECTRICAL CONTRACTOR FBO - FURNISHED BY OTHER TRADES OR OWNER, INSTALLATION AND CONNECTION BY ELECTRICAL CONTRACTOR FBRE - FUTURE FT - FOOT OR FEET FXTR - FIXTURE GEN CONT - GENERAL CONTRACTOR GEN - GENERATOR GFI - GROUND FAULT INTERRUPTER GND - GROUND GRC - GALVANIZED RIGID CONDUIT HP - HORSEPOWER IGH - INTERNAL GROUND HALO KV - KILOVOLT KVA - KILOVOLT AMPERE KW - KILOWATTS LOC - LONG CONTINUOUS LOAD LOC - LOCATION LTC - LIGHTING </td> <td style="vertical-align: top;"> LV - LOW VOLTAGE MAX - MAXIMUM MC - MECHANICAL CONTRACTOR MCM - MILLON CIRCULAR MILL MCB - MASTER GROUND BUSS MIN - MINIMUM MDWT - MOUNT NF - NEUTRAL NL - NIGHT LIGHT NO - NUMBER P - POLE PH - PHASE PNL - PANEL PVC - SCHEDULE 40 PLASTIC CONDUIT MIN PWR - POWER RUP1 - RECEPTACLE RT - RAIN TIGHT SCE - SOUTHERN CALIFORNIA EDISON SPECIFICATIONS SW - SWITCH TD - TELEPHONE TYP - TYPICAL UG - UNDERGROUND UL - UNDERWRITERS LABORATORIES UNLESS OTHERWISE SPECIFIED UOS - VOLTS V - VOLTS VA - VOLT AMPERE VD - VOLTAGE DROP W - WATTS WP - WEATHERPROOF XFR - TRANSFORMER XFR SW - TRANSFER SWITCH </td> </tr> </table>	AC - AIR CONDITIONER AFF - ABOVE FINISH FLOOR AF2 - ABOVE FINISH GRADE ADR - ANTENNA DOWNRIG BUS AGR - ANTENNA GROUND RING AMP - AMPERAGE INTERRUPTING CAPACITY APPR - APPROXIMATE AWG - AMERICAN WIRE GAUGE BRKR - BREAKER BITS - BASE TRANSFORMER STATION C - CONDUIT CB - CIRCUIT BREAKER CKT - CIRCUIT CLP - CURRENT LIMITING FUSES CON - CONDUIT ONLY CU - COPPER DEF - DUAL ELEMENT FUSES EFC - ELECTRICAL CONTRACTOR EGR - EXTERIOR GROUND BUSS EMT - ELECTRICAL METALLIC TUBING (THIN WALL) FBN - FURNISH AND INSTALLED BY OTHER TRADES OR OWNER, CONNECTIONS BY ELECTRICAL CONTRACTOR FBO - FURNISHED BY OTHER TRADES OR OWNER, INSTALLATION AND CONNECTION BY ELECTRICAL CONTRACTOR FBRE - FUTURE FT - FOOT OR FEET FXTR - FIXTURE GEN CONT - GENERAL CONTRACTOR GEN - GENERATOR GFI - GROUND FAULT INTERRUPTER GND - GROUND GRC - GALVANIZED RIGID CONDUIT HP - HORSEPOWER IGH - INTERNAL GROUND HALO KV - KILOVOLT KVA - KILOVOLT AMPERE KW - KILOWATTS LOC - LONG CONTINUOUS LOAD LOC - LOCATION LTC - LIGHTING	LV - LOW VOLTAGE MAX - MAXIMUM MC - MECHANICAL CONTRACTOR MCM - MILLON CIRCULAR MILL MCB - MASTER GROUND BUSS MIN - MINIMUM MDWT - MOUNT NF - NEUTRAL NL - NIGHT LIGHT NO - NUMBER P - POLE PH - PHASE PNL - PANEL PVC - SCHEDULE 40 PLASTIC CONDUIT MIN PWR - POWER RUP1 - RECEPTACLE RT - RAIN TIGHT SCE - SOUTHERN CALIFORNIA EDISON SPECIFICATIONS SW - SWITCH TD - TELEPHONE TYP - TYPICAL UG - UNDERGROUND UL - UNDERWRITERS LABORATORIES UNLESS OTHERWISE SPECIFIED UOS - VOLTS V - VOLTS VA - VOLT AMPERE VD - VOLTAGE DROP W - WATTS WP - WEATHERPROOF XFR - TRANSFORMER XFR SW - TRANSFER SWITCH	
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	<p>VICINITY MAP</p> <p style="text-align: center;">NO SCALE</p>	<p>POWER AND TELEPHONE GENERAL NOTES</p> <p>1. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY FOR FINAL AND EXACT WORK/MATERIALS REQUIREMENTS AND CONSTRUCT TO UTILITY ENGINEERING PLANS AND SPECIFICATIONS ONLY.</p> <p>2. CONTRACTOR SHALL FURNISH AND INSTALL ALL CONDUIT, PULL WIRES, CABLE PULL BOXES, CONCRETE ENCASUREMENT CONDUIT (IF REQUIRED), TRANSFORMER PAD, BARRIERS, POLE RISERS, TRENCHING, BACK FILL, PAY ALL UTILITY FEES AND INCLUDE ALL REQUIREMENTS IN SCOPE OF WORK.</p> <p>3. UTILITY CONTRACTS.</p> <p>POWER COMPANY:</p> <p>COMPANY NAME: SCE-RALTO ADDRESS: 300 N. PEPPER BLVD B CITY, STATE, ZIP: RALTO, CA 92378 PHONE NUMBER: (924) 820-5880 CONTACT: BOB PATTERSON</p>			
			<p>CLIENT REVIEW</p> <p>REVISED FOR: RS0029-01-P5-B1</p> <p style="text-align: center;"> </p> <p>SITE ADDRESS</p> <p>1370 LASSELLE ST. MORENO VALLEY, CA 92553</p> <p>APPROVAL TYPE</p> <p>BUILDING PERMIT</p> <p>SHEET TITLE</p> <p>ELECTRICAL SPECIFICATIONS AND GENERAL NOTES</p> <p>SHEET NUMBER</p> <p style="text-align: center; font-size: 2em;">E-1</p>		

CADD FILE MESSAGE!

CITY PROJECTS NUMBER (PAOS-048)



PANEL "A" 200 AMP 120/240V 1P3W 200 AMP BUS 200 AMP MAIN CIRCUIT BREAKER SURFACE MNT NEMA 1 10K AC RATED

LOAD	#A	#B	#C	#D	#E	#F	#G	#H	#I	#J	#K	#L	#M	#N	#O	#P	#Q	#R	#S	#T	#U	#V	#W	#X	#Y	#Z	TOTALS
BTS CABINET #1	1400																										
W/ CIR. #1		1400																									
BTS CABINET #3	1400																										
W/ CIR. #3			1400																								
BTS CABINET #5	1400																										
W/ CIR. #5				1400																							
BTS CABINET #7	1400																										
W/ CIR. #7					1400																						
BTS CABINET #9	1400																										
W/ CIR. #9						1400																					
BTS CABINET #11	1400																										
W/ CIR. #11							1400																				
BTS CABINET #13	1400																										
W/ CIR. #13								1400																			
BTS CABINET #15	1400																										
W/ CIR. #15									1400																		
BTS CABINET #17	1400																										
W/ CIR. #17										1400																	
RECEPT. OUTSIDE	180																										
RECEPT. INSIDE	180																										
SPARE																											
A/C COMPRESSOR #1	3600																										
W/ CIR. # 31																											
A/C COMPRESSOR #2	3600																										
W/ CIR. # 33																											
SMOKE DETECTORS	200																										
PHONE BOARD RECEPT.																											
TOTALS (VA)	14780	14958																									
TOTAL LOAD (VA)	23824	23970																									
25% LCL+ (VA)	5956	5992																									
TOTAL CONNECTED LOAD (VA)	24480	24862																									

TOTALS: 10664 8064

TOTAL CONNECTED LOAD=45,14KW @ 240V 1-#3W=205A

CONTRACTOR SHALL VARY INCOMING AVAILABLE FAULTY CURRENT AT PANEL WITH SERVICING UTILITY. ALL COMPONENTS SHALL BE RATED TO WITHSTAND AVAILABLE FAULTY CURRENT.

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DESIGNED BY: S.E.
DATE: 01-14-08

ISSUED FOR: CLIENT REVIEW
SHEET NUMBER: RS0029-01-P5-B1

SEAL

SITE ADDRESS

1370 LASSELLE ST.
MORENO VALLEY, CA 92553

APPROVAL TYPE

BUILDING PERMIT

SHEET TITLE

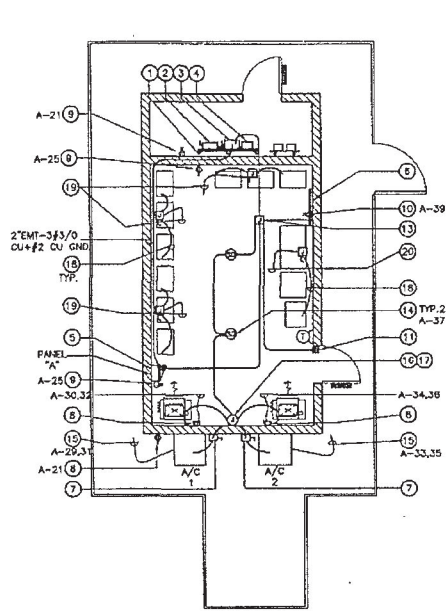
SINGLE LINE DIAGRAM
PANEL SCHEDULE AND
ELECTRICAL SITE PLAN

SHEET NUMBER

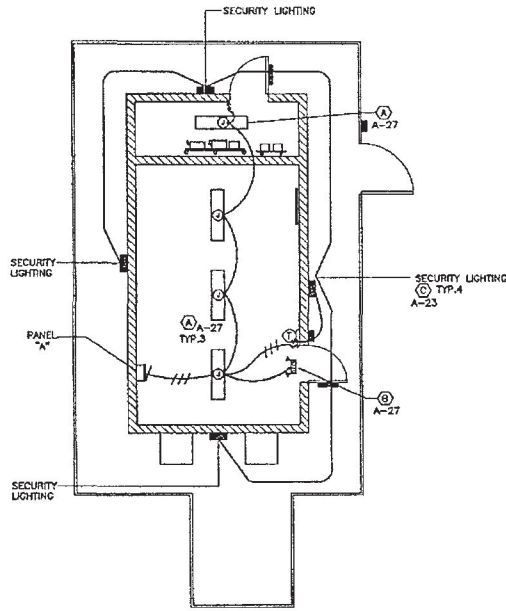
E-2

CADD FILE: 4453462

CITY PROJECTS NUMBER (PA05-0149)



ENLARGED POWER PLAN
SCALE: 1/4"=1'-0"



LIGHTING PLAN
SCALE: 1/4"=1'-0"

REFERENCE NOTES

- ① UNISTRUT RACK, 3" POSTS W/(2) 1-1/2" GAUGE 12 UNISTRUT HORIZONTAL AND 1-1/2" UNISTRUT VERTICAL CROSS PIECES AS REQUIRED TO SUPPORT EQUIPMENT.
- ② MAIN DISCONNECT-200 AMP 240 VOLT 3P4W FUSED SWITCH NEMA 1 W/ 200 AMP RK1 FUSE MIN.
- ③ TRANSFER SWITCH, 200 AMP EPDT 240V W/ SOLID NEUTRAL AND GROUND, SQUARE D DTU324 OR EQUAL NEMA 1
- ④ GENERATOR LUG BOX, 3P4W PER CINGULAR STANDARDS.
- ⑤ ELECTRICAL PANEL "A" 200AMP 240 VOLT 1PH 3W W/ 200 AMP 2P MAIN CIRCUIT BREAKER 22K AC, INCLUDES SURGE BLOCK AND 30 CIRCUIT DISTRIBUTION NEMA 1 CONSTRUCTION
- ⑥ PROVIDE A 4'x4'x3/4" PLYWOOD BACKBOARD TYPE C-D FIRE RETARDANT TREATED, SKIM COAT AND PAINT TO MATCH WALLS. PROVIDE 1/8"-1/2" TO MAIN GROUND BUSS
- ⑦ PROVIDE 60 AMP 2P 240V NEMA 3R FUSES DISCONNECT SWITCH WITH (2) LPN-RK1 FUSES, SIZE PER EQUIPMENT MANUFACTURER'S RECOMMENDATIONS, SQUARE "D" OR EQUAL.
- ⑧ PROVIDE 30 AMP 2P 240V INDOOR FUSED DISCONNECT SWITCH WITH 2 LPN-RK1 FUSES, SIZE PER EQUIPMENT MANUFACTURER'S RECOMMENDATIONS, SQUARE "D" OR EQUAL.
- ⑨ PROVIDE DUPLEX RECEPTACLE, 20 AMP 125V 3W, MOUNTED AT 16" AFF HUBBELL NO. 5382-20A-125V
- ⑩ PROVIDE DOUBLE DUPLEX (ALSO SEE NOTE 7), MOUNT AT 7'-0" AFF
- ⑪ PROVIDE TWO PIECE MAGNETIC DOOR ALARM, SONITROL 25A, RUN CONDUCTORS AND CONDUIT PER NOTE 11 AND LEAVE ENOUGH SLACK WIRE TO REACH FLOOR FROM CABLE RACK. SEE SHEET E-3 DETAIL X
- ⑫ PROVIDE HIGH/LOW TEMPERATURE ALARMS, WALL MOUNTED (H=+62", L=-24") FROM EACH DEVICE ROUTE CONDUCTORS AND CONDUIT PER NOTE 11 ABOVE. MANUFACTURED BY DATON NO. 2E208 SPST. MOUNT ON EDGE OF TELCO BOARD
- ⑬ PROVIDE (10) #22-1 1/2" FROM TELCO BOARD TO A 550 J-BOX, SECURE J-BOX TO CABLE LADDER. PROVIDE 2#22CU 1/2" FROM J-BOX TO EACH ALARM DEVICE LISTED BELOW
SURGE ARRESTOR ALARM CONTACT
MAGNETIC DOOR ALARM
HIGH AND LOW TEMPERATURE THERMOSTAT
SMOKE DETECTOR
HVAC UNIT SHUTDOWN
- ⑭ PROVIDE SMOKE DETECTOR MANUFACTURED BY PYTRONICS NO. DJ-3 WITH DRY CONTACTS FOR AC SHUTDOWN, MATCH VOLTAGE AND AMPERAGE OF CONTROL SYSTEM. PROVIDE RELAY FOR A/C SHUT DOWN
- ⑮ INSTALL 1" CONDUIT WITH 2#8+1#10 GND FROM COMPRESSOR THROUGH WALL 1"-2#6CU+1#10 GND TO PANEL "A"
- ⑯ HVAC SHUTDOWN CIRCUIT, 2#22-1/2" C
- ⑰ EXTEND 4#22-1/2" C TO FAN COIL FOR CONTROLS VERIFY WITH MANUFACTURER PRIOR TO INSTALLATION
- ⑱ INSTALL 3/4" (SEALITE FLEX) WITH 2#10+1#10 GND FROM RECTIFIER TO J-BOX. GROUND CONDUCTORS SHALL BE ISOLATED AND TERMINATE AT PANEL GND BUSS
- ⑲ INSTALL 1-1/4" (EMT) WITH 6#10+3#10 GND FROM RECTIFIER J-BOX TO PANEL "A" GROUND CONDUCTORS SHALL BE ISOLATED AND TERMINATE AT PANEL GND BUSS
- ⑳ INSTALL 3/4" (EMT) WITH 3#10+1#10 GND FROM RECTIFIER J-BOX TO PANEL "A" GROUND CONDUCTORS SHALL BE ISOLATED AND TERMINATE AT PANEL GND BUSS

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JOB NUMBER: 05048
CHECKED BY: B.B.
ISSUED BY: K.P.
DATE: 01-14-08

ISSUED FOR: CLIENT REVIEW
SHEET NUMBER: RS0029-01-P5-B1

SITE ADDRESS
13170 LASSELLE ST.
MORENO VALLEY, CA 92553

APPROVAL TYPE
BUILDING PERMIT

SHEET TITLE
LIGHTING PLAN, POWER AND ALARM PLAN, AND LIGHTING FIXTURE SCHEDULE

SHEET NUMBER
E-3

LIGHT FIXTURE SCHEDULE				
DESIG	LAMPS	VOLTS	DESCRIPTION	MANUFACTURER
A 62	FLUORESCENT (2)	120	1X4 SURFACE FLUORESCENT WITH MOUNTING HARDWARE	LITHONIA # 2LB-232-120-CGB
B 40	INCANDESCENT WITH FIXTURE	120	EXIT SIGN WITH GREEN LETTERS AND 90 MIN. BATTERY BACKUP WITH (2) 7.2 WATT EMERGENCY LAMPS	LITHONIA # H2M-S-W-1-G-120-SSB
C 15	70W HPS WITH FIXTURE	120	SURFACE WALL PACK WITH PE CELL	KIM WALL DIRECTOR W0140C-70W5120-LGP-A30 DARK SKY MODEL

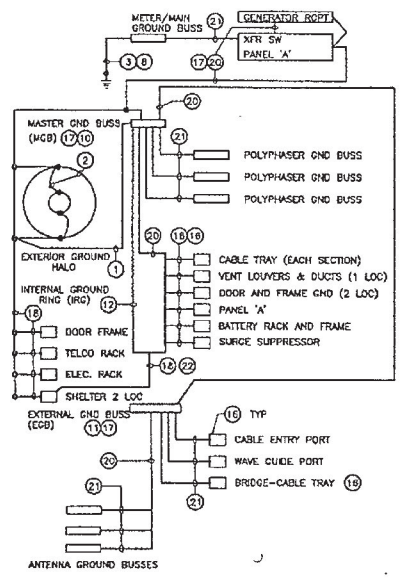
1/4"=1'-0" 0 1 2 3 4 5

CADD FILE: A05048ES

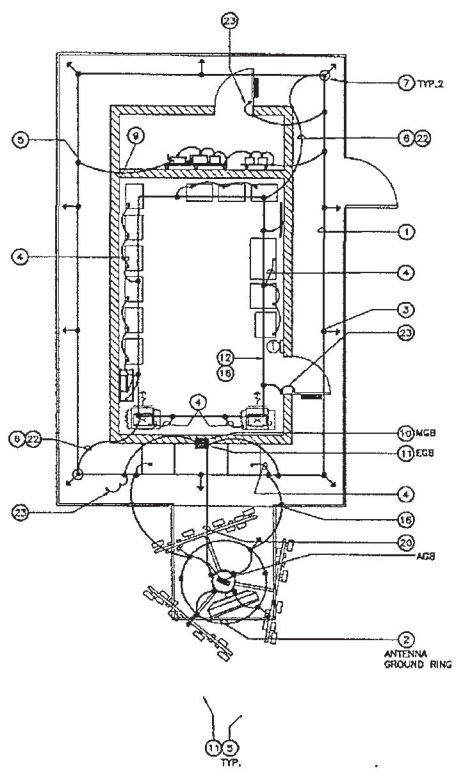
CITY PROJECTS NUMBER (PAGES-0140)

Attachment: Telecommunications License Executed Agreement Cingular - Weston Park (5839 : First

CADD FILE ADDRESS



GROUND WIRING DIAGRAM



GROUNDING PLAN
SCALE: 1/4"=1'-0"

GROUNDING NOTES

- 1 EXTERIOR GROUND RING, #2 BARE SOLID TINNED CU 24" AWAY FROM SHELTER 30" BELOW GRADE. PROVIDE 5/8"x10FT CU RODS AT 4 CORNERS AND NOT TO EXCEED 10FT APART. CONNECT TO ANTENNA GROUND RING AND MGB IN TWO LOCATIONS. SEE SHEET E-5 DETAIL 12
- 2 ANTENNA GROUND RING, #2 BARE SOLID TINNED CU 72" AWAY FROM BASE, 30" BELOW GRADE. CONNECT TO ANTENNA CASE GROUND IN TWO LOCATIONS. SLEEVE THROUGH FOOTING WITH 1" PVC CONDUIT IF APPLICABLE. SEE SHEET E-5 DETAIL 12
- 3 5/8"x10FT CU GROUND ROD, TYP. SEE SHEET E-5 DETAIL 12
- 4 BOND ALL EQUIPMENT AND CABINETS WITH #6CU TO GROUND RING
- 5 INDICATES CAD WELD CONNECTION, TYP OF ALL
- 6 GROUND SHELTER TO EXTERIOR GROUND RING WITH #2 BARE SOLID TINNED CU IN TWO LOCATIONS. SEE SHEET E-5 DETAIL 7
- 7 GROUND TEST WELL, TYP OF 2, SEE SHEET E-5 DETAIL 12
- 8 MAIN ELECTRICAL SERVICE GROUND PER NEC 250.
- 9 BOND MAIN ELECTRICAL SERVICES GROUND TO EXTERIOR GROUND RING WITH #2CU. SEE SHEET E-5 DETAIL 9
- 10 MAIN GROUND BUSS, 1/4"x24"x4" WITH APPROVED ISOLATORS. SEE SHEET E-5 DETAILS 1 AND 6, BOND TO EXTERNAL GROUND RING WITH #2 BARE CU IN TWO LOCATIONS
- 11 EXTERNAL GROUND BUSS, 1/4"x24"x4" WITH APPROVED ISOLATORS. SEE SHEET E-5 DETAILS 1 AND 6
- 12 INTERNAL GROUND HALO, #2 GREEN INSULATED CU. BOND TO MGB AND ALL INTERNAL METAL EQUIPMENT, SEE DIAGRAM. SUPPORTS FOR GROUND HALO SHALL BE PER CIRCULAR STANDARD.
- 13 FIELD SIZE MGB GROUNDING CONDUCTOR TO GROUND RODS. (MIN SIZE SHALL BE #2 BARE SOLID TINNED CU) RESISTANCE SHALL BE 5 OHMS OR LESS
- 14 ALL CABLE TRAY SECTIONS AND SUPPORTS SHALL BE BONDED TO EACH WITH #8 GREEN INSULATED COPPER WIRE AND 2 HOLE T AND B LUGS WITH STAR WASHER AND NGLOX GREASE
- 15 ALL CONNECTORS SHALL BE THREE CRIMP C-TAP COMPRESSION, T AND B LUGS WITH STAR WASHER AND NGLOX GREASE
- 16 ALL CONNECTORS SHALL HAVE (2) HOLE LONG BARRELL TYPE COMPRESSION LUGS, T AND B OR EQUAL. ALL LUGS SHALL BE ATTACHED TO BUSSING USING BOLTS, NUTS, STAR WASHERS AND NGLOX GREASE. NO WASHERS ARE ALLOWED BETWEEN ITEMS BEING GROUND
- 17 CONTRACTOR SHALL TEST GROUND RESISTANCE TO INSURE 5 OHMS TO TRUE GROUND
- 18 #2 BARE SOLID TINNED COPPER WIRE
- 19 #6 BARE SOLID TINNED COPPER WIRE
- 20 #2 GREEN INSULATED STRANDED COPPER WIRE
- 21 #6 GREEN INSULATED STRANDED COPPER WIRE
- 22 SLEEVE CONDUIT THROUGH FOOTING WITH 1" PVC CONDUIT
- 23 GROUND DOOR TO FRAME WITH #2CU. SEE SHEET E-5 DETAIL 8

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JOB NUMBER 05048	DRAWN BY KP
CHECKED BY SBL	DATE 01-14-08
ISSUED FOR CLIENT REVIEW	
SITE NUMBER RS0029-01-P5-B1	

SEAL
NO. C 27814
EX. 10-10-08

SITE ADDRESS
13170 LASSELLE ST.
MORENO VALLEY, CA 92553

APPROVAL TYPE
BUILDING PERMIT

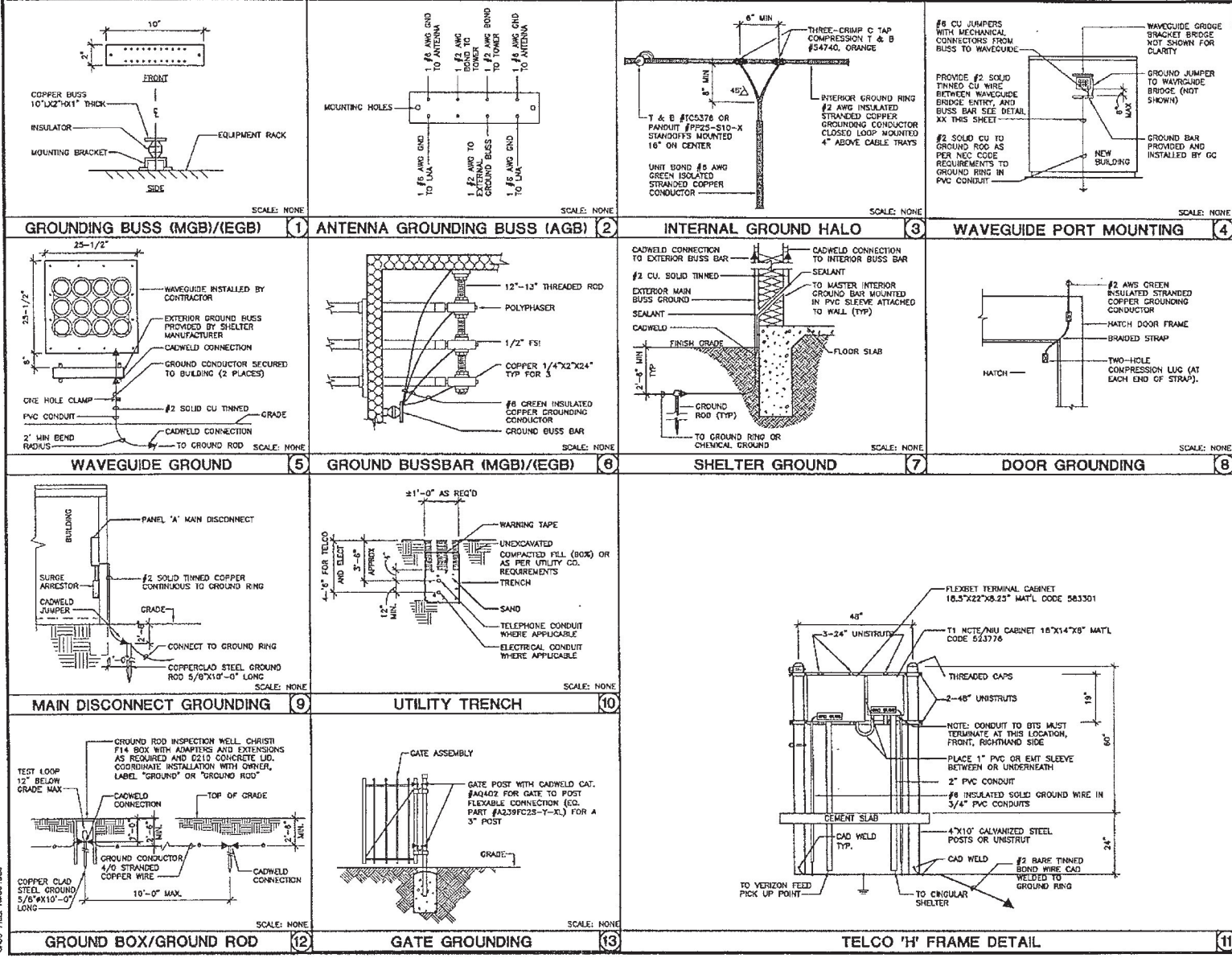
SHEET TITLE
**GROUND WIRING DIAGRAM
GROUNDING NOTES AND
GROUNDING PLAN**

SHEET NUMBER
E-4



CITY PROJECTS NUMBER (PAC-0140)

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<p>H&C Consulting & Design</p>	
<p>ARCHITECTS Inc.</p>	
<p>250 E. RINCON STREET SUITE NO. 106 GARDENA, CALIFORNIA 92724 PHONE: (951) 571-2057 FAX: (951) 571-5424</p>	
<p>JOB NUMBER 05048</p>	<p>DRAWN BY KP</p>
<p>DESIGNED BY S.B.</p>	<p>DATE 01-14-08</p>
<p>ISSUED FOR CLIENT REVIEW</p>	
<p>SHEET NUMBER RS0029-01-P5-B1</p>	
<p>SEAL</p>	
<p>SITE ADDRESS</p>	
<p>1370 LASSELLE ST. MORENO VALLEY, CA 92553</p>	
<p>APPROVAL TYPE</p>	
<p>BUILDING PERMIT</p>	
<p>SHEET TITLE</p>	
<p>ELECTRICAL DETAILS</p>	
<p>SHEET NUMBER</p>	
<p>E-5</p>	

CITY PROJECTS NUMBER (PAGE-048)

CAD FILE USAGE

Attachment: Telecommunications License Executed Agreement Cingular - Weston Park (5839 : First

IRRIGATION NOTES

THE DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN Hatched AREAS IS FOR DESIGN CLARIFICATION ONLY AND IS TO BE INSTALLED AS SHOWN UNLESS OTHERWISE NOTED.

DO NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT FORESEEN AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVES PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.

INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL LOCAL CITY AND COUNTY REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.

THE SYSTEM IS DESIGN FOR A MINIMUM OPERATING PRESSURE OF 30 PSI. THE MAXIMUM DEMAND OF GALLONS PER ACRE IS 5.2. THE IRRIGATION CONTRACTOR SHALL VERIFY THE AVAILABLE WATER PRESSURE ON THE SITE PRIOR TO THE START OF INSTALLATION.

THE ACTUAL LOCATION FOR THE INSTALLATION OF BACKFLOW PREVENTOR AND THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE AND/OR THE LANDSCAPE ARCHITECT. BACKFLOW DEVICE SHALL BE INSTALLED IN SHRUB PLANTING AREA ONLY.

110 V. ELECTRICAL POWER SOURCE TO BE PROVIDED BY OTHERS TO THE LOCATION FOR THE AUTOMATIC CONTROLLER. IRRIGATION CONTRACTOR TO BE RESPONSIBLE FOR THE FINAL CONNECTION TO THE EQUIPMENT.

ALL QUICK COUPLER VALVES ARE TO BE INSTALLED IN SHRUB OR GROUNDCOVER AREAS WHENEVER POSSIBLE AND WITHIN 10' OF THE HARDSCAPE. ALL QUICK COUPLER VALVE LOCATED IN TURF AREAS SHALL BE INSTALLED IN A 10" DIA. GREEN PLASTIC VALVE BOX.

ALL VALVE BOX COVERS ARE TO BE LABELED WITH 4" HEAT BRANDED LETTERS "O.C." FOR QUICK COUPLERS, "G.V." FOR GATE VALVES AND "V.C." AND SIZE ON 4" FOR CONTROL VALVES.

CONTRACTOR TO INSTALL AN APPROVED ANTI-DRAINAGE DEVICES FOR ALL LOW HEADS TO PREVENT LOW HEAD DRAINAGE AND POSSIBLE SOIL EROSION.

ALL SPRAY HEADS ARE TO BE INSTALLED AS POP-UPS AS SPECIFIED IN THE LEGEND, UNLESS OTHERWISE NOTED.

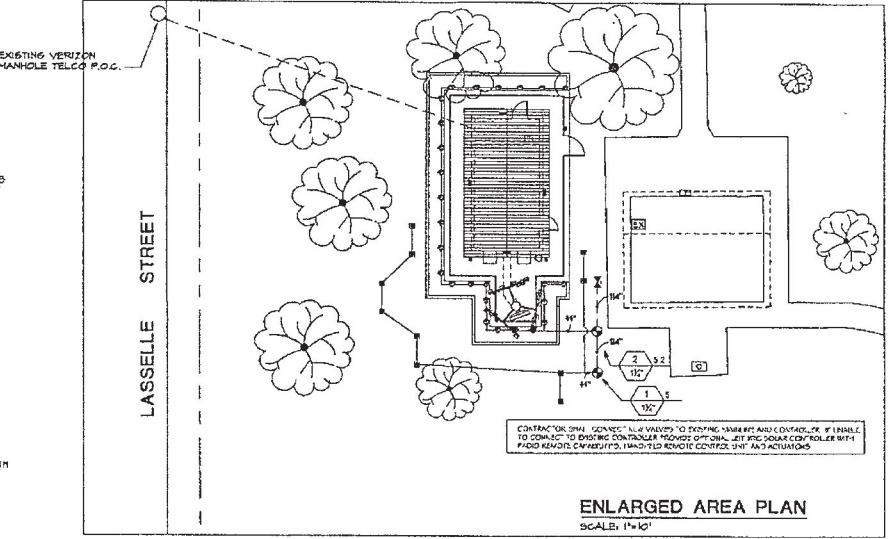
INSTALL ALL SPRAY HEADS WITH NOZZLES OF THE APPROPRIATE DEGREE OF RADIUS FOR THE AREA TO BE COVERED. ADJUST ALL NOZZLES TO ILLUMINATE SPRAYING WATER ON BULBIONS AND HARDSCAPE. ADJUST ALL VALVES FLOW CONTROLS TO PROVIDE OPTIMUM PERFORMANCE.

THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF POSSIBLE ON-SITE INSPECTIONS WITH THE LANDSCAPE ARCHITECT TO BE SCHEDULED AT THE FOLLOWING STAGES OF INSTALLATION:

1. PRESSURE TEST OF IRRIGATION MAINLINE PRIOR TO BACKFILL OF TRENCHES.
2. COVERAGE TEST OF SPRINKLER SYSTEM PRIOR TO PLANT INSTALLATION.
3. FINAL WALK-THROUGH OF THE PROJECT WITH ALL PARTIES CONCERNED FOR THE VERIFICATION OF JOB COMPLETION AND EXECUTION OF WORK PER THE PLANS AND SPECIFICATIONS.

THE IRRIGATION CONTRACTOR SHALL PROVIDE TO THE OWNER, UPON THE COMPLETION OF THE JOB, A SET OF PERFORMANCE ASSESSMENT DRAWINGS, WHICH SHALL BE VERIFIED FOR ACCURACY AT THE TIME OF THE FINAL JOB WALK-THROUGH.

THE IRRIGATION SYSTEM SHALL BE FULLY GUARANTEED FOR A PERIOD OF (1) YEAR. ANY DEFECTIVE EQUIPMENT MATERIALS OR POOR WORKMANSHIP SHALL BE REPAIRED OR CORRECTED BY THE IRRIGATION CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.



IRRIGATION SCHEDULE

SYM	MANUFACTURER/BRAND/DESCRIPTION	QTY	PSI
1	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	20	30
2	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	20	30
3	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
4	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
5	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
6	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
7	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
8	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
9	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
10	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
11	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
12	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
13	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
14	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
15	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
16	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
17	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
18	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
19	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
20	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
21	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
22	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
23	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
24	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
25	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
26	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
27	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
28	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
29	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30
30	Ray-Bud 1/2" BSP 5/8" DIA 5' GAMES MTR	10	30

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JOB NUMBER: G5048
JOB TITLE: T.D.
CHECKED BY: S.B.
DATE: 01-09-08
ISSUED FOR: CLIENT REVIEW
SITE NUMBER: RS0029-01-P5-B1



SITE ADDRESS
13170 LASSELLE ST.
MORENO VALLEY, CA 92553

APPROVAL TYPE
BUILDING PERMIT
SHEET TITLE

IRRIGATION PLAN
SHEET NUMBER
L-1

GRID FILE: 21020402

CITY PROJECTS NUMBER (FACS-0148)

Attachment: Telecommunications License Executed Agreement Cingular - Weston Park (5839 : First

PLANTING NOTES:

WEED CONTROL:

THE CONTRACTOR SHALL PERFORM A THOROUGH WEED ABATEMENT PROGRAM, INCLUDING ALL WEEDS FROM THE SITE AND SHALL BE COMPLETED PRIOR TO THE ADDITION OF ANY SOIL AMENDMENTS. THIS SHALL BE DONE FOR ALL PLANTING AREAS, UNLESS OTHERWISE SPECIFIED, AND NOT LIMITED TO SKYPES & GROUNDCOVER AREAS. THE CONTRACTOR SHALL FOLLOW THE FOLLOWING STEPS:

1. MOW & REMOVE ALL EXISTING WEEDS.
2. SPRAY ALL AREAS TO BE PLANTED FOR 20 WEEDS.
3. RAKE & REMOVE ALL WEEDS FROM PLANTING AREAS.
4. REPEAT STEPS 2 AND 3.
5. PLANT OR HYDRATED GEL GRANULOSOL.
6. APPLY PRE-EMERGENT HERBICIDE AFTER PLANTING OR HYDRATED GRANULOSOL.

CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTION OF HERBICIDE AND ITS COMPATIBILITY WITH PLANT MATERIALS.

SOIL TEST:

AFTER SOIL HAS BEEN SET IN PLACE & PRIOR TO ANY SOIL PREPARATION, THE CONTRACTOR SHALL FURNISH ONE TEST TO THE SITE FOR NUTRITIONAL PROFILE AND TO DETERMINE PROPER SOIL AMENDMENTS. TESTS ARE TO BE PERFORMED BY A MEMBER OF THE CALIFORNIA ASSOCIATION OF AGRICULTURAL LABORATORIES WITH COPIES SENT TO THE OWNER & LANDSCAPE ARCHITECT, PRIOR TO INSTALLATION.

SOIL PREPARATION:

IF THE FOLLOWING IS PROVIDED FOR HIS PURPOSES ONLY AND SHALL BE MODIFIED AS NECESSARY GIVEN THE RESULTS OF THE SOILS TESTS. THE CONTRACTOR SHALL BE PREPARED TO PROVIDE DELIVERY SLIPS AND EVIDENCE *UNLESS INDICATED ON SITE FOR VERIFICATION OF MATERIALS.

1. FOR TURF AND GROUNDCOVER AREAS THE FOLLOWING SHALL BE UNIFORMITY AND THOROUGHLY MIXED INTO THE TOP 10" TO A MAX. DEPTH OF 6" TO 8" FOR EVERY 100 SQ. FT. OF AREA:
 - 1.0 1/2 TON 10-10-10 FERTILIZER PER 1000 SQ. FT.
 - 1.0 1/2 TON 12-12-12 COMMERCE A FERTILIZER
 - 1.0 1/2 TON AGRICULTURAL GYPSON
2. GRADE & MIX FOR USE OF PLANTING ALL TYPICAL SKYPES & VINYS:
 - 6 PARTS BY VOLUME OF SIEVE SOIL
 - 4 PARTS BY VOLUME OF ORGANIC AMALGAM
 - 1.0 1/2 TON 12-12-12 COMMERCE A FERTILIZER PER 1000 SQ. FT.
 - 1.0 TON 50% PLASTER PER 1000 SQ. FT.
3. PLANT TABLETS FOR ALL TREES, 5' TRUNKS, WIDE AND GROUNDCOVERS:
 - 1-21 GONM AGRIFORM FERTILIZER TABLETS PER 1000 SQ. FT. FOR ALL SKYPES NEXT TO ROOT BALL
 - 1-21 GONM AGRIFORM FERTILIZER TABLETS PER 1 GALLON STOCK
 - 1-21 GONM AGRIFORM FERTILIZER TABLETS PER 15 GALLON STOCK
 - 1-21 GONM AGRIFORM FERTILIZER TABLETS PER 15 GALLON STOCK
 - 1-21 GONM AGRIFORM FERTILIZER TABLETS PER 15 GALLON STOCK
4. ALL PALM TREES TO BE PLANTED WITH 100% CLEAN PLASTER SAND REFER TO PALM TREE PLANTING NOTES AND SPEC. FOR FURTHER SPECIFICATIONS.

TOP DRESSING:

ALL SKYPES AND GROUNDCOVER AREAS ARE TO BE TOP DRESSED WITH 4" THICK LAYER OF TOPDRESSER MULCH 50% GOLF, 50% BROWN.

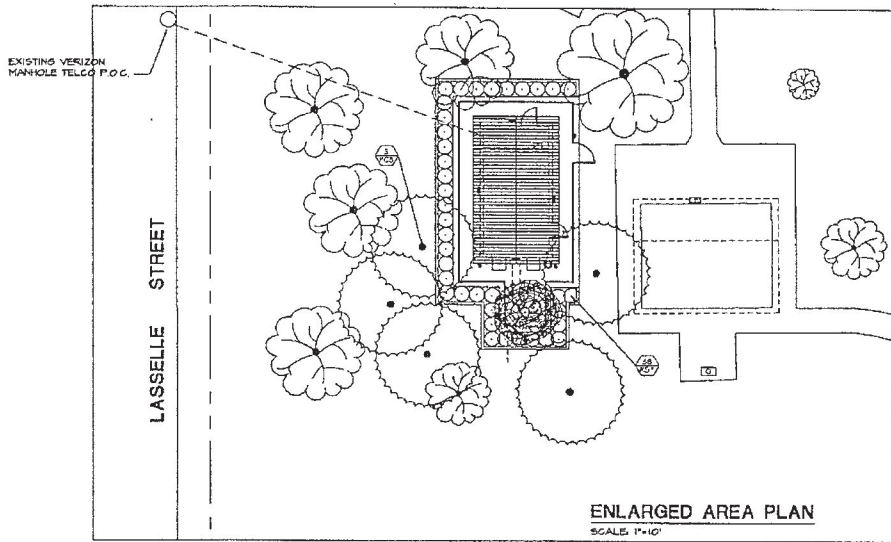
MOW STRIPS:

THE CONTRACTOR SHALL INSTALL CONCRETE MOWSTRIP REFER TO PLAN & DETAILS FOR SPECIFICATIONS FOR ALL SKYPES AND GROUNDCOVER AREAS ADJACENT TO TURF AS SHOWN ON THE PLANS.

VINES & ESPALJERS:

ALL VINE STRIPS AND OTHER TRELLISES SHALL BE SPRINKLED. PLANTS BRANDED ARE TO BE CAREFULLY MOWED AND ATTACHED TO WALLS OR FENCES WITH AN APPROVED FASTENER AND TYP. "H".

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO TILT, CONCRETE, PLANTS, IRRIGATION, ELECTRICAL, ETC., ANY AND ALL DAMAGED ITEMS SHALL BE REINSTALLED AND PAID FOR BY THE CONTRACTOR BEFORE RELEASE IS ISSUED.
- ALL DAMAGED ITEMS SHALL BE REPLACED ACCORDING TO THE CITY OF MORENO VALLEY PARKS AND RECREATION STANDARDS.
- ALL DAMAGED TURF SHALL BE REPLACED WITH SODDED TURF. THE SPECIFIC VARIETY TO BE DETERMINED BY THE PARKS AND RECREATION DEPARTMENT.
- ALL IRRIGATION MODIFICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO THE SATISFACTION OF THE PARKS AND RECREATION DEPARTMENT. DAMAGED IRRIGATION SHALL BE REPAIRED WITHIN 24 HOURS IN THE PRESENCE OF AUTHORIZED CITY STAFF.
- SUBMITTALS ARE REQUIRED FOR ALL LANDSCAPE MATERIALS WITHIN 30 DAYS OF THE START OF CONSTRUCTION.
- ALL TREES ARE TO BE TAGGED BY CITY (WHETHERMAN CITY OF MORENO VALLEY PARKS AND COMMUNITY SERVICES).



PLANT SCHEDULE

TREES	NOTES	QTY	SP	DATE
1	10' CALIFORNIA REDWOOD	1	SP	01/09/08
1	10' CALIFORNIA REDWOOD	1	SP	01/09/08
1	10' CALIFORNIA REDWOOD	1	SP	01/09/08



CADD FILE: 24050402



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PARSONS
2201 OUTPOST DRIVE, SUITE 200
IRVINE, CA 92612
PHONE: (949) 477-1251
FAX: (949) 863-9807

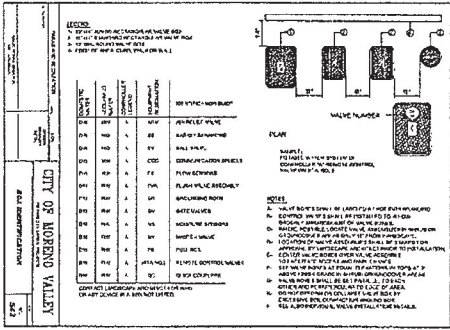
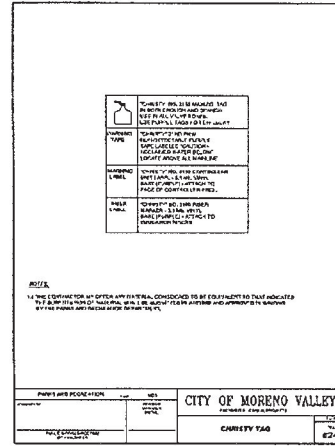
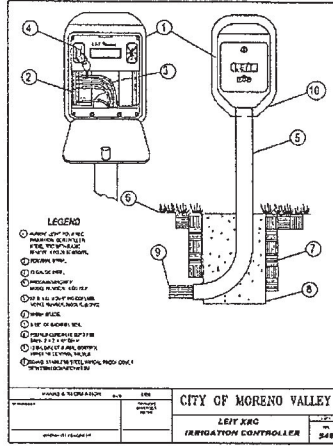
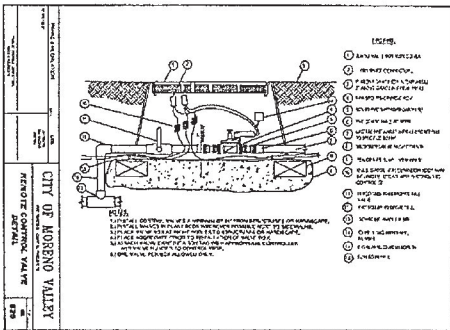
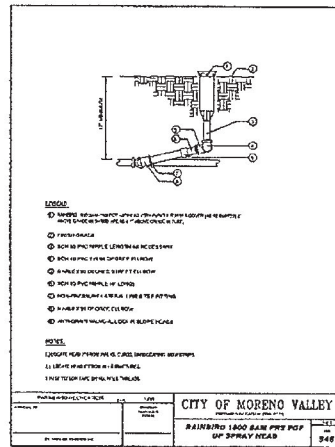
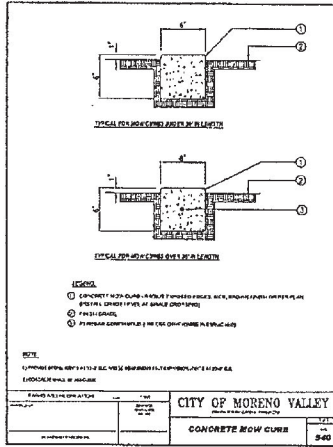
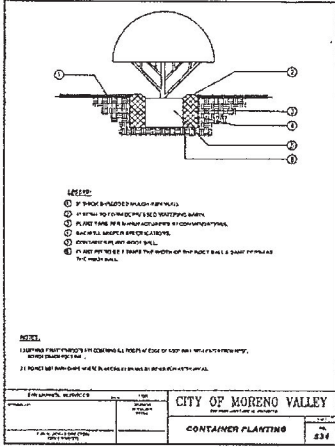
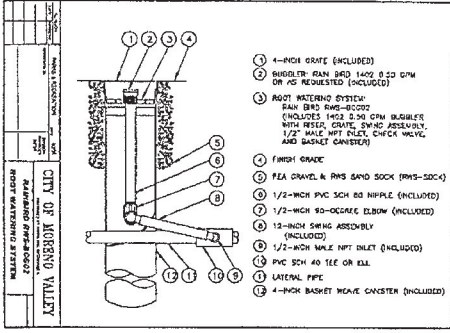
ARCHITECT
Hinson Consulting & Design
ARCHITECTS INC.
280 E. RINGGON STREET
SUITE NO. 104
CORONA, CALIFORNIA 92534
PHONE: 951-271-2037
FAX: 951-271-9424

JOB NUMBER: 05048
DRAWN BY: T.D.
CHECKED BY: S.B.
DATE: 01-09-08
ISSUED FOR: CLIENT REVIEW
SHEET NUMBER: RS0029-01-P5-B1

APPROVAL TYPE
BUILDING PERMIT
SHEET TITLE
PLANTING PLAN
SHEET NUMBER
L-2

CITY PROJECTS NUMBER (PA05-0149)

Attachment: Telecommunications License Executed Agreement Cingular - Weston Park (5839 : First



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ARCHITECT
H&C Consulting & Design
ARCHITECTS INC.

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CORONA, CALIFORNIA 92639
PHONE: 951-371-2097
FAX: 951-371-3424

JOB NUMBER: 05048
DATE: 01-09-08
CHECKED BY: S.B.
ISSUED FOR: CLIENT REVIEW
SITE NUMBER: RS0029-01-P5-B1

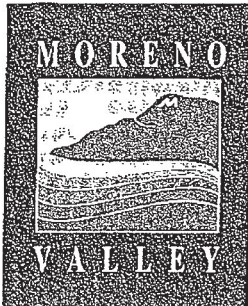
SITE ADDRESS
1370 LASSELLE ST.
MORENO VALLEY, CA 92553

APPROVAL TYPE
BUILDING PERMIT
SHEET TITLE
DETAILS
SHEET NUMBER
L-3

CITY PROJECTS NUMBER (PACS-049)

EXHIBIT "C"

Conditional Use Permit and Conditions of Approval



Community Development Department
Planning Division

14177 Frederick Street
P.O. Box 88005
Moreno Valley, CA 92552-0805
Telephone: 951.413.3206
FAX: 951.413.3210

December 1, 2006

Ryan Elias-Berg
Parsons
2201 Dupont Drive, Suite 200
Irvine, CA 92612

Subject: Final Conditions of Approval for PA05-0149 –Conditional Use Permit
Location: Weston Park, on the east side of Lasselle Street between
Dracaea Avenue and Ute Drive

Dear Mr. Elias-Berg:

Enclosed are the Final Conditions of Approval for PA05-0149, a conditional use permit for a new unmanned telecommunications facility for Cingular Wireless.

The Planning Commission of the City of Moreno Valley approved this project on November 30, 2006, subject to the enclosed conditions of approval. This approval is final unless an appeal is filed with the City Council within 10 calendar days of the approval date. If an appeal is not filed, this conditionally-approved conditional use permit will expire on November 30, 2009, unless extended as provided by City Ordinance.

If you have any questions, contact the Planning Division at (909) 413-3206.

Sincerely,

Kathleen Dale
Associate Planner

John C. Terrell, AICP
Planning Official

Enclosure: Final Conditions of Approval for PA05-0149 (Conditional Use Permit)

c: Cingular Wireless
Tony Hetherman, City of Moreno Valley parks and Recreation
Case file

CITY OF MORENO VALLEY
PLANNING DIVISION
EXHIBIT A TO RESOLUTION 2006-60
FINAL CONDITIONS OF APPROVAL FOR PA05-0149
CONDITIONAL USE PERMIT FOR A WIRELESS COMMUNICATIONS FACILITY
ASSESSOR'S PARCEL NUMBER: 477-451-001

APPROVAL DATE: November 30, 2006
EXPIRATION DATE: November 30, 2009

This set of conditions shall include conditions from:

- X Planning (P), including Building and Safety (B)
- X Fire Prevention Bureau (F)
- X Parks & Recreation (PR)

Note: All Special conditions are in bold lettering. All other conditions are standard to all or most development projects.

COMMUNITY DEVELOPMENT DEPARTMENT

Planning Division

- P1. Conditional Use Permit PA05-0149 is for a new telecommunications facility to be located within Weston Park along the Lasselle Street frontage, west of the existing restroom building and south of the existing playground and picnic area. The proposed tower is 66 feet in height and will be disguised as a pine tree. The unmanned equipment shelter and tower will be located within an approximately 1,250 square foot lease area.
- P2. All ground-mounted equipment must be within an enclosed building or screened from the public right-of-way with a solid 6-foot decorative block wall.
- P3. Perimeter planting of shrubs shall be provided where the proposed improvements are visible from Lasselle Street.

Timing Mechanisms for Conditions (see abbreviation at beginning of affected condition):

R - Map Recordation	GP - Grading Permits	CO - Certificate of Occupancy or building final
WP - Water Improvement Plans	BP - Building Permits	P - Any permit

Governing Document (see abbreviation at the end of the affected condition):

GP - General Plan	MC - Municipal Code	CEQA - California Environmental Quality Act
Ord - Ordinance	DG - Design Guidelines	Ldscp - Landscape Requirements
Res - Resolution	UBC - Uniform Fire Code	UBC - Uniform Building Code
	SBM - Subdivision Map Act	

Attachment: Telecommunications License Executed Agreement Cingular - Weston Park (5839 : First Amendment with New Cingular Wireless

PLANNING DIVISION
FINAL CONDITIONS OF APPROVAL FOR PA05-0149
CONDITIONAL USE PERMIT – WESTON PARK MONOPINE
PAGE 2 OF 11

- P3. All utility and coaxial connections to the equipment building and to the monopine shall be underground.
- P4. Monopine design shall incorporate:
- a. branch density of 20 to 25 branches per 10 linear feet of height (first branches no more than 12 feet above ground level per Condition PR3);
 - b. bark-textured cladding on trunk and branches (Cell Trees, Inc. material as presented for approval, or equivalent subject to approval by the Planning Division);
 - c. staggered placement of branches along the pole, with varying length and orientation for more natural appearance;
 - d. needle bushes shall be of material, texture and density providing natural appearance (Cell Trees, Inc. material as presented for approval, or equivalent subject to approval by the Planning Division);
 - e. canopy breadth at the lower-most branches of fifty percent of the overall height (to replicate typical canopy configurations of typical mature natural specimens);
 - f. canopy breadth at the height of the array to envelope the satellite dish and antenna arrays.
- P5. The physical appearance of the stealth materials shall be maintained, for the duration of facility operation, in accordance with the approved plans.
- P6. There shall be no signage or graphics affixed to the equipment, equipment building, or fence, except for public safety warnings.
- P7. The facility shall provide for co-location of other equipment/utilities with review and approval by the Community Development Director. The design of any co-location shall be consistent with the conditions of approval for this installation.
- P8. No barbed wire or razor wire shall be used for the facility.
- P9. At such time as the facility ceases to operate, the tower shall be removed. The removal shall occur within 90 days of cessation of the use.
- P10. (BP) Prior to the issuance of building permits, final landscaping and irrigation plans shall be submitted to the Community Development Department-Planning Division for review and approval. The plans shall be prepared in accordance with the City's Landscape Requirements (MC 9.17).

**PLANNING DIVISION
FINAL CONDITIONS OF APPROVAL FOR PA05-0149
CONDITIONAL USE PERMIT – WESTON PARK MONOPINE
PAGE 3 OF 11**

- P11. This Conditional Use Permit may be revoked in accordance with provisions of the Municipal Code. (MC 9.02.260)
- P12. This approval shall comply with all applicable requirements of the City of Moreno Valley Municipal Code.
- P13. This approval shall expire three (3) years after the approval date of Conditional Use Permit PA05-0149, unless used or extended as provided for by the City of Moreno Valley Municipal Code; otherwise it shall become null and void and of no effect whatsoever. "Use" means the beginning of substantial construction contemplated by this approval within the three-year period, which is thereafter pursued to completion, or the beginning of substantial utilization contemplated by this approval. (MC 9.02.230)
- P14. All landscaped areas shall be maintained in a healthy and thriving condition, free from weeds, trash and debris. (MC 9.02.030)
- P15. The site shall be developed in accordance with the approved plans on file in the Community Development Department - Planning Division, the Municipal Code regulations, the Landscape Requirements, the General Plan, and the conditions contained herein. Prior to any use of the project site or business activity being commenced thereon, all Conditions of Approval shall be completed to the satisfaction of the City Planning Official or designee.
- P16. (BP) Prior to issuance of building permits, the applicant shall obtain a Land Use Clearance stamp from the Community Development Department – Planning Division on the final plan check set.
- P17. (CO) Prior to issuance of a building final, the applicant shall contact the Planning Division for a final inspection.

Building and Safety Division

- B1. This project shall comply with the current California Codes. (CBC, CEC, CMC and the GPC) as well as City ordinances. All new projects shall provide a soils report as well. **Plans shall be submitted to the Building and Safety Division under separate submittal.**

**PLANNING DIVISION
FINAL CONDITIONS OF APPROVAL FOR PA05-0149
CONDITIONAL USE PERMIT – WESTON PARK MONOPINE
PAGE 4 OF 11**

FIRE PREVENTION BUREAU

Standard Conditions:

With respect to the conditions of approval for PA05-0149, the following fire protection measures shall be provided in accordance with Moreno Valley City Ordinances and/or recognized fire protection standards:

- F1. Final fire and life safety conditions will be addressed when the Fire Prevention Bureau reviews building plans. These conditions will be based on occupancy and use and Uniform Building Code (UBC), California Fire Code (CFC), and related codes which are in force at the time of building plan submittal.

Special Conditions:

- F2. (BP) Prior to issuance of building permit, applicant shall provide written verification that the system they will be installing will not interfere with Fire or Police Communication System.
- F3. Anytime after installation, any interruption of Fire, Police or other public emergency Communication System due to the purveyor's system, the purveyor shall cease to operate site until corrections can be made to purveyor's system.
- F4. All combustible vegetation, cut or uncut weeds, grass, vines and other vegetation shall be kept clear within thirty feet of all structures, fences and property lines. (CFC 1103.2.4)
- F5. (CO) Prior to the issuance of a Certificate of Occupancy or building final, the developer/applicant shall be responsible for obtaining permits for the storage of combustible liquids, flammable liquids or any other hazardous materials from both the County Health department and Fire Prevention Bureau. (CFC 7901.2 and 8001.3)

PARKS AND RECREATION DEPARTMENT

- PR1. All equipment utilized for Telecommunications equipment shall be reviewed and approved by Parks and Recreation, Planning, Land Development, Fire Services, and Building and Safety Division prior to approval and issuance of any permits. Parks and Recreation requires submittals on all materials and shop drawings on all fabrication, prior to obtaining these products. Add materials shall comply with the

**PLANNING DIVISION
FINAL CONDITIONS OF APPROVAL FOR PA05-0149
CONDITIONAL USE PERMIT – WESTON PARK MONOPINE
PAGE 5 OF 11**

- Parks and Recreation Park Specifications, Telecommunication Site Specifications, City Standard Plans, California Building Code, and "Greenbook" for Public Works Construction.
- PR2. At the end of the agreed upon lease or lease termination from applicant, abandonment, or violation of contract, the Licensee may be required by the City or CSD to restore the site to its original condition or any part of. If required, the Licensee shall remove the items at no cost to the City.
- PR3. At the discretion of Parks and Recreation, a Mono Pine shall be utilized to transmit/receive signal. The mono pine shall be conical shaped; branches layered beginning at 12' maximum, and contain a trunk that closely resembles bark that is typical of pine trees. Within any single-family residential district, all commercial communication facility antenna(s) and supporting tower systems shall be setback from any property line a distance that is not less than the height of the antenna and tower system and not less than any setback required by any applicable fire and building codes. The Mono Pine will require a tubular steel fence around the Mono Pine, per Parks and Recreation standards. The Mono Pine will be integrated with other trees and shall not be located within a structure or fenced area by itself.
- PR4. The lease area shall not extend beyond the covered building's edge, plus six-feet for sidewalk and fencing. The building shall not be any larger than what is necessary to house the telecommunications equipment and a permanent mounted generator.
- PR5. Temporary fencing shall be provided around the project site. It shall be six-foot in height, conform to Parks and Recreation standards, and approved by the Parks Projects Coordinator.
- PR6. The design shall contain all conduit and conductors within the interior of the pole (no exposed exterior conduit or wire will be allowed). The pole and conduit shall be designed for future expansion of panels. Two (2) additional conduits shall be incorporated into the base of the pole, capped and terminate 10' south of the pole.
- PR7. HVAC units shall be mounted within the building, with the exception of the condensers. AC condensers shall be mounted to the rear of the building and have a vandal proof enclosure cover. The cover shall be manufactured utilizing a 1/4" stainless steel framing materials and stainless steel 9 gauge, 3/4" flattened mesh. The unit shall be sand blasted and powder coated clear.
- PR8. Any proposed step down transformer is to be located in the building and have proper ventilation.

PLANNING DIVISION
 FINAL CONDITIONS OF APPROVAL FOR PA05-0149
 CONDITIONAL USE PERMIT – WESTON PARK MONOPINE
 PAGE 6 OF 11

- PR9. Any telephone landline service shall be located within the building. A separate entrance and walled space is necessary.
- PR10. If a generator shall be utilized, it shall be of an approved quiet type and located within the building, the building sound insulated, and properly ventilated. No temporary generator shall be located within the park anytime.
- PR11. Other than approved pole mounted transmitting/receiving devices, no other equipment shall be located outside of the building.
- PR12. Antenna mounted to the building shall have all exposed pipe, brackets, hardware, and wire shielded by a full-length 14-gauge stainless steel cover.
- PR13. The building shall be constructed of decorative tan slumpstone block with matching tan mortar. All walls shall be solid grouted with 2500 PSI grout. The block size shall be nominal 8" x 4" x 16".
- PR14. Special inspections are required on all concrete, masonry, and roofing. These inspections shall be provided by a 'City Approved' inspector, at no cost to the City.
- PR15. The roof type shall be Tremlock SL® from Tremco, ph 800.452.9969. The color shall be specified by Parks and Recreation. The roof design shall be designed by Tremco. The underlayment shall be one layer of VersaShield® and one layer of 30 lb. felt. The fascia shall be Douglas fir; the soffit shall be completely sealed with 1/2" exterior grade plywood. The fascia and soffit shall be completely covered with Tremco metal roofing products with standing seam on the soffit. Roof pitch designs shall be minimum 5 in 12.
- PR16. Entrance doors to the building shall be solid doors. Specifications are as follow:
- a. Steelcraft steel stiffened 1-3/4" 'B' door, 12-gauge stainless steel skin and 12-gauge stainless steel frame for exterior doors. Frames shall be grouted.
 - b. Steelcraft S.S. mortise type continuous hinge or
 - c. Hager Hinge # BB1168 S.S, security stud, non-removable pin (nrp) as requested.
 - d. Trimco # 1111C-630 exterior trim pull, ADA.
 - e. Trimco # 1001-3, 4x16, 630 push plate.
 - f. Trimco # 1010-3, 4x16, 630 pull plate.
 - g. Trimco # 5000, lock astragal.
 - h. Door closure: LCN # P4041. Color to match finished door color.
 - i. Threshold and door sweep: Pemco brand. Color to match finished door color.
 - j. Exterior door seal: Pemco # 299. Color to match finished door color.

**PLANNING DIVISION
FINAL CONDITIONS OF APPROVAL FOR PA05-0149
CONDITIONAL USE PERMIT – WESTON PARK MONOPINE
PAGE 7 OF 11**

- k. Entire door shall be painted per the 'Paint Schedule'. The color for doors and doorframes shall be determined by Parks and Recreation.
- PR17. A warning sign shall with anti-graffiti overlay coating shall be installed on the door of the building.
- PR18. All buildings shall be coated with an anti-graffiti coating. The specification shall be 'Vitrocem High Build Anti-Graffiti Glazed Coating', manufactured by Bithell, Inc @ 626.331.2292. Pigmented coatings are available for all metalwork and lumber. Block shall receive a clear Vitrocem® graffiti coating.
- PR19. All ventilation shall be constructed from 12-gauge stainless steel.
- PR20. All exposed lumber shall be #1 resawn Douglas fir with cracks less than 1/32" and no heartwood.
- PR21. All electrical conduit within the building and exterior of the building shall be rigid type (no PVC, no flexible). Conductors shall be a minimum of 12-gauge.
- PR22. Security lights shall be provided on the exterior of the building and be an approved type per the Park and Recreation Park Specifications guide.
- PR23. If a path of access to the building is needed, the applicant shall be required to design and build access if suitable access does not exist at the site. Required travel is typically a six-inch thick steel reinforced (#4 rebar @ 18" OC) concrete (560C-3250 PSI) path. Parks and Recreation retain the right to change this specification depending on the specification application. Access shall comply with Title 24/ADA.
- PR24. A 6' wide reinforced concrete apron shall surround the building. The apron shall be 4" thick and sloped with drainage away from the building. Color shall be Davis Colors Omaha Tan. Deep scoring joints at a minimum of every 6'. All concrete shall be 560C-3250 per the 'Greenbook'. A rock pump may be utilized. Fly ash and admixtures are not allowed, except color as specified by Parks and Recreation. A tubular steel fence is to be constructed on the outside perimeter of project per the Fence and Gate Specification. The fence shall be located within the concrete apron, with a one-foot setback from the edge of concrete.
- PR25. Five (5) Pinus Pinea, Pinus Canariensis, Pinus Eldarica (or another P&R approved Pinus species to match the Monopine) with a minimum height of 25' shall be installed around the Monopine. The soil shall be properly prepared for planting per City standards. The pines as well as the rest of the project shall be warranted for 1-year from project acceptance.

**PLANNING DIVISION
FINAL CONDITIONS OF APPROVAL FOR PA05-0149
CONDITIONAL USE PERMIT – WESTON PARK MONOPINE
PAGE 8 OF 11**

- PR26. Irrigation for the shrubs and trees is to be installed from the main irrigation line. This is to be complete with a Nibco T-585-70-66 isolation ball valve, Leit® XRC solar irrigation controller with radio remote capability and handheld remote control unit, Lema® 1521S actuator, Rainbird EFB-CP-PRS-D irrigation control valve, Schedule 40 PVC pipe, Rainbird 1806/1812-SAM-PRS irrigation sprinklers, and Rainbird RWS tree irrigators. A detailed specification and design shall be provided by the Licensee before project approval. A C-27 licensed Landscape Contractor shall perform all landscaping and irrigation.
- PR27. Current irrigation located within and surrounding the project shall be relocated to provide irrigation to the existing turf. Additional irrigation sprinklers shall be added per the requirements of Parks and Recreation. A licensed landscape contractor (C-27) shall perform all landscaping and irrigation work.
- PR28. The contractor is responsible for any and all damage to turf, concrete, plants, irrigation, electrical, etc. Any and all damaged items shall be reinstalled and paid for by the contractor before a release is issued. All damaged items shall be replaced according to Parks and Recreation standards. All irrigation modifications shall be the responsibility of the contractor, to the satisfaction of Parks and Recreation. Damaged irrigation shall be repaired within 24-hours in the presence of authorized City staff. City staff time shall be charged to the licensee/contractor and paid prior to the project Final. Failure to repair within this period may result in penalties, including work stoppage, and the City contracting for such repairs. In the event the City contracts for repairs, the licensee/contractor shall reimburse the City for repairs and staff time prior to the project Final.
- PR29. Damaged turf shall be replaced with sodded turf by the Licensee. The specific variety to be determined by Parks and Recreation.
- PR30. All permits are the responsibility of the Licensee. All inspections are the responsibility of the contractor and/or Licensee.
- PR31. A preconstruction meeting for the project is required. The preconstruction meeting shall be scheduled with Parks and Recreation at 951.413.3701, 10 days in advance of mobilization. The general contractor and all subcontractors shall be present at the preconstruction meeting.
- PR32. Inspections are required on all phases of the project. 48-hour inspection requests shall be made with Parks and Recreation at 951.413-3163. Contact Building and

**PLANNING DIVISION
FINAL CONDITIONS OF APPROVAL FOR PA05-0149
CONDITIONAL USE PERMIT – WESTON PARK MONOPINE
PAGE 9 OF 11**

Safety for a schedule and notification requirements at 951.413.3350. Failure to schedule inspections will result in a stop work order and monetary penalty(s).

- PR33. All changes/deviations shall be approved in writing from the Director of Parks and Recreation or his designee, prior to construction.
- PR34. Security for the project shall be posted by the Licensee, prior to the issuance of building permits.
- PR35. The Licensee shall have an approved and signed Telecommunications License Agreement prior to the issuance of Building Permits.
- PR36. All permits and fees are the responsibility of the Licensee.
- PR37. All Parks and Recreation Plan Checking and Inspection Fees shall be paid prior to the issuance of Building Permits.
- PR38. Turnover items: Three complete sets of As-Built plans, one As-Built Mylar, and the project ACAD drawing on CD prior to Final inspection.

SPECIFICATIONS

Fence and Gate Specifications:

- a. 3" X 3" X Schedule 40 posts. Set at 8' spacing (approximate).
- b. 2" x 2" x .120" top and bottom rail.
- c. 1" x 1" x .120" pickets with 1' angled extension @ 22° (squared and capped ends). Spacing not to exceed 4" between pickets.
- d. All welding shall be complete on all sides of the metal and all slag removed.
- e. The gate shall have an industrial strength locking devise, capable of utilizing two (2) padlocks for access by City and applicant.
- f. The finished fence and gate is to be 7' in height (6' fence with 1' angled outward 22°).
- g. All line posts shall have footings 12" diameter x 24" deep minimum. All end and gateposts shall be 12" x 36" deep. Concrete for footings shall be minimum 2500-PSI.
- h. A City approved Knox Box model # 3261 shall be welded to a 3/16" steel backing plate and installed on the gatepost. Knox Box application is available from City of Moreno Valley Fire Prevention Bureau or Parks and Recreation.
- i. All posts, rails, pickets, and related hardware to be hot dip galvanized after fabrication and coated after installation. See 'Paint Schedule.'

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Paint/Coatings Schedule:

- a. Coating specification for wood surfaces shall be two-coats of Behr® Russet Brown semi-gloss over one-coat exterior primer, unless indicated otherwise by Parks and Recreation. All paint shall be coated with Vitrocem® Hi-Build Thermosetting Anti-Graffiti Glazed Coating, manufactured by Bithell, Inc., at 626.331.2292.
- b. Coating specification for metal surfaces shall be gloss dark brown for building doors, trim, and any other exterior metal, unless indicated otherwise by Parks and Recreation. All coatings shall be Vitrocem® Color Pigmented Thermosetting Coating for Metal, manufactured by Bithell, Inc at 626.331.2292.
- c. Coating specification for tubular steel fencing shall be black for tubular steel fencing, unless indicated otherwise by Parks and Recreation. All coatings shall be Vitrocem® Color Pigmented Thermosetting Coating for Metal, manufactured by Bithell, Inc., at 626.331.2292.

PROTECTIVE COATINGS APPLICATION AND WORKMANSHIP:

- A. All surfaces not to be coated shall be protected during cleaning and coating operations. Any surfaces or material (columns, walkways, plants, etc.) that are damaged during the cleaning and/or coating operations shall be repaired or replaced at the contractor's expense.
- B. All surfaces shall be cleaned, de-glossed, and prepped to the paint manufacturer's specifications.
- C. All materials shall be applied uniformly by electrostatic coating (unless approved by the Parks Projects Coordinator in writing). If any thinning of the coating is necessary, it shall be done in accordance with the manufacturer's label directions. Paint additives are prohibited unless specified and approved by the coating manufacturer.
- D. Mechanical mixers, capable of thoroughly mixing the pigment with the paint shall be used according to the manufacturer's instructions. After thorough initial mechanical mixing, subsequent intermittent hand mixing shall be done in accordance with good coating practices and the manufacturer's recommendations.
- E. No exterior coating shall be undertaken if air or surface temperature is below 50 degrees Fahrenheit, nor immediately preceding or following rain; or until frost, dew,

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or condensation has evaporated. Additionally, no exterior coating shall be performed if air or surface temperature is above 95 degrees Fahrenheit or if winds exceed 5 mph.

- F. Refer to the manufacturer's data sheet and comply with the requirements regarding application such as mixing of the components, thinning, and application equipment.
- G. When surface temperatures are high, care must be taken while applying the paint to prevent formation of voids, pinholes, and bubbles due to the rapid evaporation of solvent.
- H. If more than one day passes between subsequent coats, contaminated areas must be further prepared by brush-off blast, water blasting, or steam cleaning.



APPROVALS	
CITY ATTORNEY	<i>RDH</i>
FINANCE DIRECTOR	<i>SMC</i>
CITY MANAGER	<i>RM</i>

Report to City Council

TO: Mayor and City Council

FROM: Chris A. Vogt, P.E., Public Works Director/City Engineer

AGENDA DATE: May 13, 2008

TITLE: Telecommunications License Agreement with New Cingular Wireless, PCS, LLC, a Delaware Limited Liability Company

RECOMMENDED ACTION

1. Authorize the Mayor to execute a Telecommunications License Agreement with New Cingular Wireless PCS, LLC, a Delaware limited liability company, for approximately 1,248 square feet of ground space on the property known as Weston Park.

BACKGROUND

On November 30, 2006, the Planning Commission reviewed and approved Resolution No. 2006-60, adopting a Negative Declaration for PA05-0149 (Conditional Use Permit) in that this project will not result in significant environmental impacts and approved PA05-0149 (Conditional Use Permit), subject to the Conditions of Approval.

New Cingular Wireless PCS, LLC, a Delaware limited liability company, desires to construct a cellular tower and to lease approximately 1,248 square feet of ground space in Weston Park to house equipment to operate the cellular tower.

Cingular representatives met with Parks and Community Services to review and discuss the requirements for both Parks and Community Services and Cingular. Cingular designed a 66-foot monopine cellular tower to be placed in Weston Park. A Telecommunications License Agreement (TLA) was e-mailed to Cingular's representative and negotiations were concluded as to the lease agreement.

Attachment: Telecommunications License Executed Agreement Cingular - Weston Park (5839 : First Amendment with New Cingular Wireless

DISCUSSION

The proliferation of various personal communication devices makes additional cellular tower facilities necessary to meet consumer demand. Service providers are installing cellular towers in populated areas throughout the Southern California area in order to accommodate the populace. The proposed Telecommunications License Agreement with New Cingular Wireless PCS, LLC, a Delaware limited liability company, is for a term of five (5) years with five (5) additional renewal terms of five (5) years each. For the initial five-year term, the Agreement will provide \$30,000 per year in revenue to the Parks and Community Services Department. In addition, a \$100 per month landscape maintenance and graffiti abatement fee will be paid by the Licensee. Both rent and the landscape maintenance and graffiti abatement fee include annual increases of three percent (3%).

ALTERNATIVES

1. Authorize the Mayor to execute a Telecommunications License Agreement with New Cingular Wireless PCS, LLC, a Delaware limited liability company, for approximately 1,248 square feet of ground space on the property known as Weston Park.
2. Do not authorize the Mayor to execute a Telecommunications License Agreement with New Cingular Wireless PCS, LLC, a Delaware limited liability company, for approximately 1,248 square feet of ground space on the property known as Weston Park. *This alternative would result in a loss of potential revenue to the City.*

FISCAL IMPACT

The proposed agreement will provide revenue to Parks and Community Services in Lease Payments of \$30,000 for the first year. The Licensee will pay a \$100 per month graffiti abatement fee; this revenue will be credited to Parks Maintenance. Both rent and the landscape maintenance and graffiti abatement fee include annual increases of three percent (3%).

<u>Revenue (1st Year)</u>	
Rental (Account No. 00161.1610.4563).....	\$30,000
Landscape Maintenance and	
Graffiti Abatement (Account No. 00161.1610.4234)	<u>\$1,200</u>
Total (1st Year)	\$31,200

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CITY COUNCIL GOALS**REVENUE DIVERSIFICATION AND PRESERVATION:**

Develop a variety of City revenue sources and policies to create a stable revenue base and fiscal policies to support essential City services, regardless of economic climate.

ATTACHMENTS

ATTACHMENT "A" – Location Map

ATTACHMENT "B" – Property Map

ATTACHMENT "C" – Telecommunications License Agreement (3 copies)



Prepared By:
Monica Adamee
Senior Real Property Agent



Concurred By
Tony Hetherman
Parks Project Coordinator



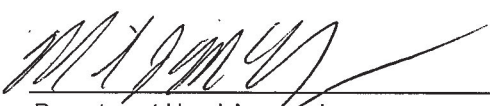
Concurred By:
Khalid Bazmi, P.E.
Supervising Engineer



Department Head Approval:
Chris A. Vogt, P.E.
Public Works Director/City Engineer



Concurred By:
Prem Kumar, P.E.
Deputy Public Works Director/Assistant City Engineer



Department Head Approval:
Mike McCarty
Parks and Community Services Director

Council Action	
Approved as requested: 5/13/08	Referred to:
Approved as amended:	For:
Denied:	Continued until:
Other:	Hearing set for:

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Attachment: Telecommunications License Executed Agreement Cingular - Weston Park (5839 : First Amendment with New Cingular Wireless