

**From:** [Mauricio Alvarez](#)  
**To:** [Julia Descoteaux](#)  
**Subject:** Sunset Crossing North  
**Date:** Friday, June 14, 2024 9:03:33 AM

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You don't often get email from malvarez@riversidetransit.com. [Learn why this is important](#)

**Warning: External Email – Watch for Email Red Flags!**

Good Morning Julia,

Thank you for including Riverside Transit Agency in the review of the Sunset Crossing North Project. After reviewing the plans, the only suggestion to provide is if sidewalk can be incorporated on Cottonwood Ave, from Nason St to the residential project. This would provide a safe pathway for residents to connect to our bus stops on Nason St.

Thank you for considering this comment.

**Mauricio Alvarez, MBA**

Planning Analyst  
Riverside Transit Agency  
p: 951.565.5260 | e: [malvarez@riversidetransit.com](mailto:malvarez@riversidetransit.com)  
[Website](#) | [Facebook](#) | [Twitter](#) | [Instagram](#)  
1825 Third Street, Riverside, CA 92507

JASON E. UHLEY  
General Manager-Chief Engineer



1995 MARKET STREET  
RIVERSIDE, CA 92501  
951.955.1200  
951.788.9965 FAX  
www.rcflood.org

RIVERSIDE COUNTY FLOOD CONTROL  
AND WATER CONSERVATION DISTRICT

256814

July 1, 2024

City of Moreno Valley  
Community Development Department Planning Division  
Post Office Box 88005  
Moreno Valley, CA 92552-0805

Attention: Julia Descoteaux

Re: TTM 38443, PEN 22-0133, PEN 22-0134,  
PEN 22-0136 and PEN 22-0130  
APNs 488-190-005, 488-190-027  
and 488-190-028

The Riverside County Flood Control and Water Conservation District (District) does not normally recommend conditions for land divisions or other land use cases in incorporated cities. The District also does not plan check City land use cases or provide State Division of Real Estate letters or other flood hazard reports for such cases. District comments/recommendations for such cases are normally limited to items of specific interest to the District including District Master Drainage Plan facilities, other regional flood control and drainage facilities which could be considered a logical component or extension of a master plan system, and District Area Drainage Plan fees (development mitigation fees). In addition, information of a general nature is provided.

The District's review is based on the above-referenced project transmittal, received June 3, 2024. The District **has not** reviewed the proposed project in detail, and the following comments do not in any way constitute or imply District approval or endorsement of the proposed project with respect to flood hazard, public health and safety, or any other such issue:

- This project would not be impacted by District Master Drainage Plan facilities, nor are other facilities of regional interest proposed.
- This project involves District proposed Master Drainage Plan facilities, namely, Moreno Master Drainage Plan Line H and Line H-4 to protect the site from offsite flows and serve as an adequate outlet. A portion of Moreno Master Drainage Plan Line H (Project No. 4-0-00763 and Drawing No. 4-0867) is owned, operated and maintained by the District and located one mile south at the intersection of Oliver Street and Cactus Avenue. The District will accept ownership of such facilities on written request by the City. The Project Applicant shall enter into a cooperative agreement establishing the terms and conditions of inspection, operation, and maintenance with the District and any other maintenance partners. Facilities must be constructed to District standards, and District plan check and inspection will be required for District acceptance. Plan check, inspection, and administrative fees will be required. All regulatory permits (and all documents pertaining thereto, e.g., Habitat Mitigation and Monitoring Plans, Conservation Plans/Easements) that are to be secured by the Applicant for both facility construction and maintenance shall be submitted to the District for review. The regulatory permits' terms and conditions shall be approved by the District prior to improvement plan approval, map recordation, or finalization of the regulatory permits. There shall be no unreasonable constraint upon the District's ability to operate and maintain the flood control facility(ies) to protect public health and safety.
- If this project proposes channels, storm drains larger than 36 inches in diameter, or other facilities that could be considered regional in nature and/or a logical extension a District's facility, the District would consider accepting ownership of such facilities on written request by the City. The Project Applicant shall enter into a cooperative agreement establishing the terms and conditions of inspection, operation, and maintenance with the District and any other maintenance partners. Facilities must be constructed to District standards, and District plan check and inspection will be required for District acceptance. Plan check, inspection, and administrative fees will be required. The regulatory permits' terms and conditions

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256814

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- This project is located within the limits of the District's Moreno Area Drainage Plan for which drainage fees have been adopted; applicable fees should be paid by cashier's check or money order only to the Flood Control District or City prior to issuance of grading permits. Fees to be paid should be at the rate in effect at the time of issuance of the actual permit.
- An encroachment permit shall be obtained for any construction related activities occurring within District right of way or facilities, namely, Moreno Master Drainage Plan Line H. If a proposed storm drain connection exceeds the hydraulic performance of the existing drainage facilities, mitigation will be required. For further information, contact the District's Encroachment Permit Section at 951.955.1266.
- The District's previous comments dated February 28, 2023 for case PEN 22-0130 (Tentative Tract Map 38443), GPA 0133, CZ 0134 and CUP-PUD 0136 are still valid.

#### GENERAL INFORMATION

This project may require a National Pollutant Discharge Elimination System (NPDES) permit from the State Water Resources Control Board. Clearance for grading, recordation or other final approval should not be given until the City has determined that the project has been granted a permit or is shown to be exempt.

If this project involves a Federal Emergency Management Agency (FEMA) mapped floodplain, then the City should require the applicant to provide all studies, calculations, plans and other information required to meet FEMA requirements, and should further require that the applicant obtain a Conditional Letter of Map Revision (CLOMR) prior to grading, recordation or other final approval of the project, and a Letter of Map Revision (LOMR) prior to occupancy.

The project proponent shall bear the responsibility for complying with all applicable mitigation measures defined in the California Environmental Quality Act (CEQA) document (i.e., Negative Declaration, Mitigated Negative Declaration, Environmental Impact Report) and/or Mitigation Monitoring and Reporting Program, if a CEQA document was prepared for the project. The project proponent shall also bear the responsibility for complying with all other federal, state, and local environmental rules and regulations that may apply.

If a natural watercourse or mapped floodplain is impacted by this project, the City should require the applicant to obtain a Section 1602 Agreement from the California Department of Fish and Wildlife and a Clean Water Act Section 404 Permit from the U.S. Army Corps of Engineers, or written correspondence from these agencies indicating the project is exempt from these requirements. A Clean Water Act Section 401 Water Quality Certification may be required from the local California Regional Water Quality Control Board prior to issuance of the Corps 404 permit.

Very truly yours,



AMY MCNEILL  
Engineering Project Manager

Attachment

EM:blj



RIVERSIDE COUNTY FLOOD CONTROL  
AND WATER CONSERVATION DISTRICT

249813

February 28, 2023

City of Moreno Valley  
Community Development Department Planning Division  
Post Office Box 88005  
Moreno Valley, CA 92552-0805

Attention: Mr. John Moreno

Re: PEN 22-0130 (Tentative Tract Map 38443),  
GPA 0133, CZ 0134, CUP-PUD 0136, APNs  
488-190-005, 488-190-027 and 488-190-028

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The District's review is based on the above-referenced project transmittal, received February 23, 2023. The District **has not** reviewed the proposed project in detail, and the following comments do not in any way constitute or imply District approval or endorsement of the proposed project with respect to flood hazard, public health and safety, or any other such issue:

- This project would not be impacted by District Master Drainage Plan facilities, nor are other facilities of regional interest proposed.
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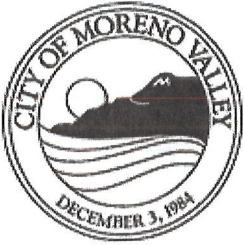
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Very truly yours,

AMY MCNEILL  
Engineering Project Manager

c: Riverside County Planning Department  
Attn: Timothy Wheeler  
EM:blm



Community Development Department

Planning Division

14177 Frederick Street

P.O. Box 88005

Moreno Valley, CA 92552-0805

Telephone: 951.413.3206

FAX: 951.413.3210

## CASE TRANSMITTAL

Date: 2/16/2023

Project No.: Tentative Tract Map (PEN22-0130, 0133 GPA, 0134 CZ, ,0136 CUP-PUD)

### CITY OF MORENO VALLEY REVIEW (INTER-DEPARTMENTAL)

Please review the attached proposal and submit responses within 14 calendar days to the case planner.

<b>TRANSMITTALS</b>

### OUTSIDE AGENCY REVIEW

Please review the attached proposal and submit responses within 30 calendar days. THIS MATERIAL MAY BE DIRECTED TO YOU AS A RESPONSIBLE OR TRUSTEE AGENCY UNDER CEQA AND IS INTENDED TO SOLICIT YOUR INPUT ON THE PROJECT. (TRIBAL REPRESENTATIVES - THIS MATERIAL IS PROVIDED TO INITIATE CONSULTATION UNDER GOVERNMENT CODE SECTION 65352.3 (SB18) OR GOVERNMENT CODE SECTION 21080.3.1 (AB52). Should you have questions regarding the project(s), please contact the case planner listed below at the Community Development Department (951) 413-3206.

STANDARD TRANSMITTALS		SPECIAL TRANSMITTALS																			
<input checked="" type="checkbox"/> Verizon Telephone <input checked="" type="checkbox"/> Riverside County Flood Control District <input checked="" type="checkbox"/> Riverside Transit Agency <input checked="" type="checkbox"/> Moreno Valley Unified School District <input type="checkbox"/> Val Verde School District <input checked="" type="checkbox"/> Southern California Edison <input checked="" type="checkbox"/> The Gas Company <input checked="" type="checkbox"/> Waste Management of Inland Valley <input checked="" type="checkbox"/> EMWD Water and Sewer <input checked="" type="checkbox"/> U.S. Post Office <input checked="" type="checkbox"/> Airport Land Use Commission (ALUC)	<input checked="" type="checkbox"/> Tribal Consultation (AB52) <input checked="" type="checkbox"/> Tribal Consultation (SB18) <input type="checkbox"/> Calif. State Dept. of Fish and Wildlife <input type="checkbox"/> Calif. State Dept. of Transportation <input type="checkbox"/> Calif. State Dept. of Water Resources <input type="checkbox"/> Regional Water Quality Control Board <input type="checkbox"/> Riverside County Parks and Recreation <input type="checkbox"/> U.S. Army Corps of Engineers <input type="checkbox"/> U.S. Fish and Wildlife Service <input type="checkbox"/> Edgemont Community Services District <input type="checkbox"/> Box Springs Mutual Water Company <input type="checkbox"/> UCR Archaeological Research Unit <input type="checkbox"/> MJPA - Planning <input type="checkbox"/> MARB - SB1462 - Military Bases	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; padding: 2px;"><b>Project No.(s):</b> Tentative Tract Map (PEN22-0130)</td> <td style="width: 50%; padding: 2px;"><b>A.P. Number:</b> 488190005</td> </tr> <tr> <td style="padding: 2px;"><b>Project Type(s):</b> Tent Tract 38443 GPA, CZ, CUP-PUD</td> <td style="padding: 2px;"> </td> </tr> <tr> <td style="padding: 2px;"><b>Applicant:</b> Ross Yamaguchi</td> <td style="padding: 2px;"><b>Owner:</b> Highpointe Mv I</td> </tr> <tr> <td style="padding: 2px;"><b>Representative:</b> Ross Yamaguchi</td> <td style="padding: 2px;"> </td> </tr> <tr> <td style="padding: 2px;"><b>Address:</b> 27381 Cottonwood Ave</td> <td style="padding: 2px;"> </td> </tr> <tr> <td colspan="2" style="padding: 2px;"><b>Proposal:</b> Tentative Tract Map 38443 (PEN22-0130) consisting of 133 single-family lots located south side of Cottonwood Avenue East of Nason Street on 28.2 acres APN 488190005 &amp; 027 with a General Plan Amendment (PEN22-0133) and a Change of Zone (PEN22-0134) from R3 to RS10 and a Conditional Use Permit for a Planned Unit Development (PEN22-0136)</td> </tr> <tr> <td style="padding: 2px;"><b>Case Planner:</b> John Moreno</td> <td style="padding: 2px;"> </td> </tr> <tr> <td style="padding: 2px;"><b>PRSC Date:</b> Contact Information: Julia Descoteaux juliad@moval.org</td> <td style="padding: 2px;"><b>Environmental Determination:</b> MND</td> </tr> <tr> <td style="padding: 2px;"><b>Review Status:</b> Route for Review 2</td> <td style="padding: 2px;"> </td> </tr> </table>		<b>Project No.(s):</b> Tentative Tract Map (PEN22-0130)	<b>A.P. Number:</b> 488190005	<b>Project Type(s):</b> Tent Tract 38443 GPA, CZ, CUP-PUD		<b>Applicant:</b> Ross Yamaguchi	<b>Owner:</b> Highpointe Mv I	<b>Representative:</b> Ross Yamaguchi		<b>Address:</b> 27381 Cottonwood Ave		<b>Proposal:</b> Tentative Tract Map 38443 (PEN22-0130) consisting of 133 single-family lots located south side of Cottonwood Avenue East of Nason Street on 28.2 acres APN 488190005 & 027 with a General Plan Amendment (PEN22-0133) and a Change of Zone (PEN22-0134) from R3 to RS10 and a Conditional Use Permit for a Planned Unit Development (PEN22-0136)		<b>Case Planner:</b> John Moreno		<b>PRSC Date:</b> Contact Information: Julia Descoteaux juliad@moval.org	<b>Environmental Determination:</b> MND	<b>Review Status:</b> Route for Review 2	
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<b>Review Status:</b> Route for Review 2																					

RECEIVED

FEB 23 2023

RIVERSIDE COUNTY FLOOD CONTROL  
AND WATER CONSERVATION DISTRICT

**APPLICANT / OWNER**

HIGHPOINTE INV, LLC  
830 TROBROCK LANE, SUITE 100  
IRVINE, CA 92618  
TEL: 714-952-1000 | FAX: 714-952-1000

**TOPO SOURCE:**

DON READ CORPORATION  
801 MENARD LANE  
IRVINE, CA 92618  
(714) 538-9588  
JUNE 25, 2021

**ENGINEER**

PROACTIVE ENGINEERING  
300 S. MAIN STREET, STE 300  
CORONA, CA 92625  
DILLON STRAND | 951.280.3310

**SOILS ENGINEER**

LEIGHTON GROUP  
17781 CORONA  
IRVINE, CA 92614  
JOFF L. HILL | 949.881.4365

**UTILITIES**

SEWER: EASTERN MUNICIPAL WATER DISTRICT  
SEWER: EASTERN MUNICIPAL WATER DISTRICT  
ELECTRIC: MORENO VALLEY UTILITY  
GAS: SOUTHERN CALIFORNIA GAS COMPANY  
TELEPHONE: VERIZON  
TELEVISION: COMCAST

**ASSESSOR'S PARCEL NO.'S**

488-190-025, 488-190-027 & 488-190-028

**LAND USE**

TOTAL AREA (SQ. FT.): 28.1 AC  
TOTAL AREA (AC): 23.1 AC  
EXISTING LAND USE: MEDIUM-DENSITY RESIDENTIAL  
PROPOSED LAND USE: SINGLE-FAMILY RESIDENTIAL  
EXISTING ZONING: SUBURBAN RESIDENTIAL  
PROPOSED ZONING: SUBURBAN RESIDENTIAL  
EXISTING GENERAL PLAN: RD RESIDENTIAL  
PROPOSED GENERAL PLAN: RD RESIDENTIAL

**NOTES**

- THIS AREA IS WITHIN THE MORENO VALLEY UNIFIED SCHOOL DISTRICT.
- PROJECT SITE IS LOCATED WITHIN ZONE X, AREA OF MINIMAL FLOODING, PRE-LEED INCORPORATED RATE MAP COMMUNITY PANEL NUMBER 000074 DATED AUGUST 26, 2008 (RIVERSIDE COUNTY - PANEL 7005 OF 3500).
- ALL SEWERING AND DRAINAGE SHALL BE CONSISTENT WITH THE REQUIREMENTS OF THE CITY OF MORENO VALLEY.
- IMPROVEMENTS SHALL BE PERMITTED BY THE CITY OF MORENO VALLEY.
- NO KNOWN EXISTING WATER WELLS ARE ON THE PROPERTY OR WITHIN 100 FEET OF THE PROPERTY BOUNDARY.
- THIS TRACT CONSISTS OF 123 SINGLE-FAMILY LOTS WITH THREE DIFFERENT LOT SIZES, 18 UNITS WITH A MINIMUM SIZE OF 6000 SF AND 22 UNITS WITH A MINIMUM SIZE OF 4000 SF. LOT AREAS SHOWN IN THE TABLE ON THE RIGHT.
- THIS TRACT IS LOCATED IN A NON-FLOODING ZONE, IN A STATE OF FEDERAL RESPONSIBILITY AREA.

**LEGAL DESCRIPTION**

LOTS 3, 4 AND 7, BLOCK 82 OF BEAR VALLEY AND ALEXANDRO DEVELOPMENT COMPANY'S SUBDIVISION, IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP OF FILE IN BOOK 11, PAGE 10 OF MAPS, RECORDS OF SAN BERNARDINO COUNTY.

**BENCHMARK**

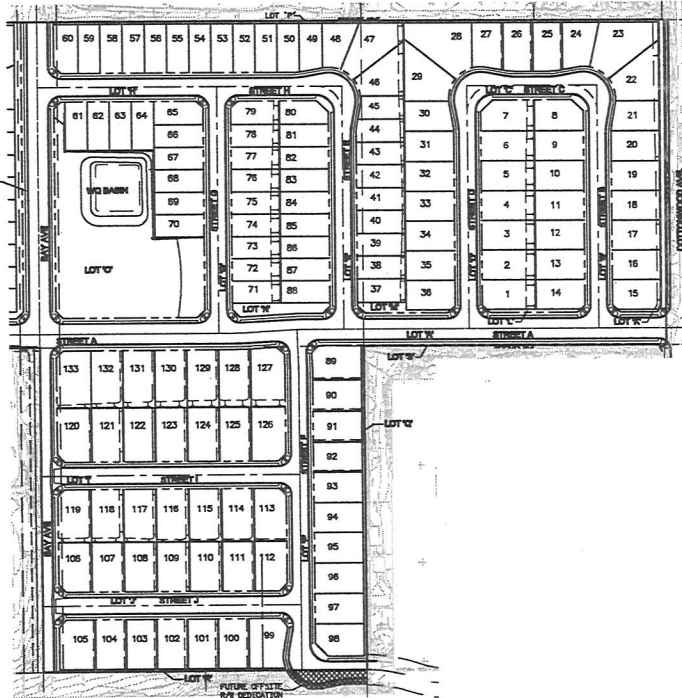
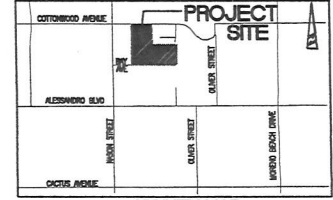
RIVERSIDE COUNTY BENCHMARK (N-10-4 RESET) AT THE SOUTHWEST CORNER OF MAIN STREET AND ALEXANDRO BULEVARD, 96.0 FEET EAST OF CENTERLINE OF MAIN STREET, 48 FEET SOUTH OF ALEXANDRO BULEVARD, 3" WEST OF P.O.C. 907-7028, 1.0 FEET NORTH OF A 4" DIA. WOODEN POST, A BRASS DISK SET IN TOP OF A CONCRETE POST AND MARKED N-10-4 RESET 1978.  
ELEVATION (FEET): 1380.42 (MWD028)

**BASIS OF BEARINGS**

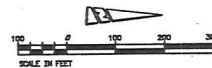
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA STATE PLANE COORDINATE SYSTEM (CALSTACS) TO BE BASED LOCALLY ON CONTROL STATION "MAY" 1, "L" AND "P" WERE OBSERVED ON 07/01/2010. ALL BEARINGS SHOWN ON THIS MAP ARE GRID. GRID BEARINGS AND DISTANCES SHOWN ARE GRID BEARINGS AND DISTANCES FROM THE REFERENCE BARS OR BEARS ARE AS SHOWN PER THAT REFERENCE. ALL DISTANCES SHOWN ARE GRID DISTANCES UNLESS SPECIFIED OTHERWISE. GRID DISTANCES MAY BE OBTAINED BY MULTIPLYING THE GRID DISTANCE BY A CONVERSION FACTOR OF .999946385.

# TENTATIVE TRACT MAP NO. 38443

IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA



INDEX MAP



**PROPOSED LOT SUMMARY TABLE**

LOT#	AREA	LOT#	AREA	LOT#	AREA	LOT#	AREA
1	6024 SF	35	8020 SF	69	4020 SF	103	6083 SF
2	6020 SF	36	8012 SF	70	4020 SF	104	6083 SF
3	6020 SF	37	4882 SF	71	4020 SF	105	7683 SF
4	6020 SF	38	4020 SF	72	4020 SF	106	6648 SF
5	6020 SF	39	4020 SF	73	4020 SF	107	6648 SF
6	6020 SF	40	4020 SF	74	4020 SF	108	6648 SF
7	6620 SF	41	4020 SF	75	4020 SF	109	6648 SF
8	6191 SF	42	4020 SF	76	4020 SF	110	6648 SF
9	6020 SF	43	4020 SF	77	4020 SF	111	6648 SF
10	6020 SF	44	4020 SF	78	4020 SF	112	6688 SF
11	6020 SF	45	4020 SF	79	4020 SF	113	7150 SF
12	6020 SF	46	7177 SF	80	4681 SF	114	7304 SF
13	6020 SF	47	5796 SF	81	4020 SF	115	7304 SF
14	6020 SF	48	5181 SF	82	4020 SF	116	7304 SF
15	6017 SF	49	4512 SF	83	4020 SF	117	7304 SF
16	6020 SF	50	4468 SF	84	4020 SF	118	7304 SF
17	6020 SF	51	4020 SF	85	4020 SF	119	7261 SF
18	6020 SF	52	4020 SF	86	4020 SF	120	7651 SF
19	6020 SF	53	4020 SF	87	4020 SF	121	7150 SF
20	6020 SF	54	4020 SF	88	4020 SF	122	7150 SF
21	6020 SF	55	4020 SF	89	7245 SF	123	7150 SF
22	6200 SF	56	4020 SF	90	4651 SF	124	7150 SF
23	10728 SF	57	4020 SF	91	6510 SF	125	7150 SF
24	6020 SF	58	4020 SF	92	6510 SF	126	7288 SF
25	6020 SF	59	4020 SF	93	6510 SF	127	8320 SF
26	6020 SF	60	4020 SF	94	6510 SF	128	7620 SF
27	6020 SF	61	4020 SF	95	6510 SF	129	7618 SF
28	11145 SF	62	4020 SF	96	6510 SF	130	7618 SF
29	6020 SF	63	4020 SF	97	6510 SF	131	7618 SF
30	6020 SF	64	4020 SF	98	6510 SF	132	7618 SF
31	6020 SF	65	4020 SF	99	7618 SF	133	8162 SF
32	6020 SF	66	4020 SF	100	6583 SF		
33	6020 SF	67	4020 SF	101	6583 SF		
34	6020 SF	68	4020 SF	102	6583 SF		

PARKS/LANDSCAPE AREAS			
LOT#	AREA	OWNERSHIP	PURPOSE
A	1.41 AC	CITY OF MORENO VALLEY	STREET
B	0.31 AC	CITY OF MORENO VALLEY	STREET
C	0.40 AC	CITY OF MORENO VALLEY	STREET
D	0.31 AC	CITY OF MORENO VALLEY	STREET
E	0.31 AC	CITY OF MORENO VALLEY	STREET
F	0.73 AC	CITY OF MORENO VALLEY	STREET
G	0.34 AC	CITY OF MORENO VALLEY	STREET
H	0.39 AC	CITY OF MORENO VALLEY	STREET
I	0.26 AC	CITY OF MORENO VALLEY	STREET
J	0.26 AC	CITY OF MORENO VALLEY	STREET
K	0.01 AC	CITY OF MORENO VALLEY	LANDSCAPE
L	0.03 AC	CITY OF MORENO VALLEY	LANDSCAPE
M	0.06 AC	CITY OF MORENO VALLEY	LANDSCAPE
N	0.11 AC	CITY OF MORENO VALLEY	LANDSCAPE
O	2.00 AC	CITY OF MORENO VALLEY	LANDSCAPE
P	0.14 AC	CITY OF MORENO VALLEY	DRAINAGE
Q	0.07 AC	CITY OF MORENO VALLEY	DRAINAGE
R	0.05 AC	CITY OF MORENO VALLEY	DRAINAGE
S	0.02 AC	CITY OF MORENO VALLEY	WALL

**LEGEND**

DOMESTIC WATER LINE (PROP)	—W—	WFO LINE	-----
RECLAIMED WATER LINE (PROP)	—RW—	CURE & OTHER (PROP)	-----
SEWER MAIN LINE (PROP)	—S—	TRACT BOUNDARY	-----
DOMESTIC WATER LINE (EXIST)	—W—	EXISTING CORNER	-----
RECLAIMED WATER LINE (EXIST)	—RW—	PROPOSED CORNER	-----
SEWER MAIN LINE (EXIST)	—S—	PROPOSED LOT RE-ALTERED	-----
STREET CENTER LINE	—CL—	EXISTING LOT LINE	-----
LOT LINE (PROP)	—LP—	RECLAIMING WALL (PROP)	-----
PIPE IN-SITU	—PI—	CONCRETE WALL	-----
ORCHARD (PROP)	—OR—	LOT NUMBER	—LN—
ORCHARD (EXIST)	—OR—	PROCESSED TYPE	—PT—
STREET LIGHT	—SL—	PLAN TYPE	—PL—
ENHANCEMENT	—EN—	PUBLIC UTILITY PRESENT	—PU—
		PROPOSED USE AREA	—PUA—

APN 488-190-005, 488-190-027	
EASEMENTS	DISPOSITION
① PUBLIC UTILITIES AND INCIDENTAL PURPOSES (NON-PLOTTABLE), BOOK 170, PAGE 826 IN FAVOR OF EASTERN MUNICIPAL WATER DISTRICT	QUITCLAIM
② PUBLIC UTILITIES AND INCIDENTAL PURPOSES (NON-PLOTTABLE), INSTRUMENT NO. 107711 IN FAVOR OF CALIFORNIA WATER AND TELEPHONE COMPANY	QUITCLAIM
③ COOR (NON-PLOTTABLE) INSTRUMENT NO. 105271 IN FAVOR OF COOR	QUITCLAIM
④ PIPELINES AND INCIDENTAL PURPOSES (NON-PLOTTABLE), INSTRUMENT NO. 1060-11082 IN FAVOR OF EASTERN MUNICIPAL WATER DISTRICT	QUITCLAIM

APN 488-190-028	
EASEMENTS	DISPOSITION
① PUBLIC UTILITIES AND APPURTENANCES INSTRUMENT NO. 107711 IN FAVOR OF CALIFORNIA WATER AND TELEPHONE COMPANY	QUITCLAIM

DESIGNED BY

WILSON K. THROLOP INC 01193

OWNER SEAL

TENTATIVE TRACT MAP 38443

TITLE SHEET

MAY 2022

SHEET 1 OF 5

# TENTATIVE TRACT MAP NO. 38443

IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

488-190-034

MVUSD

488-190-004

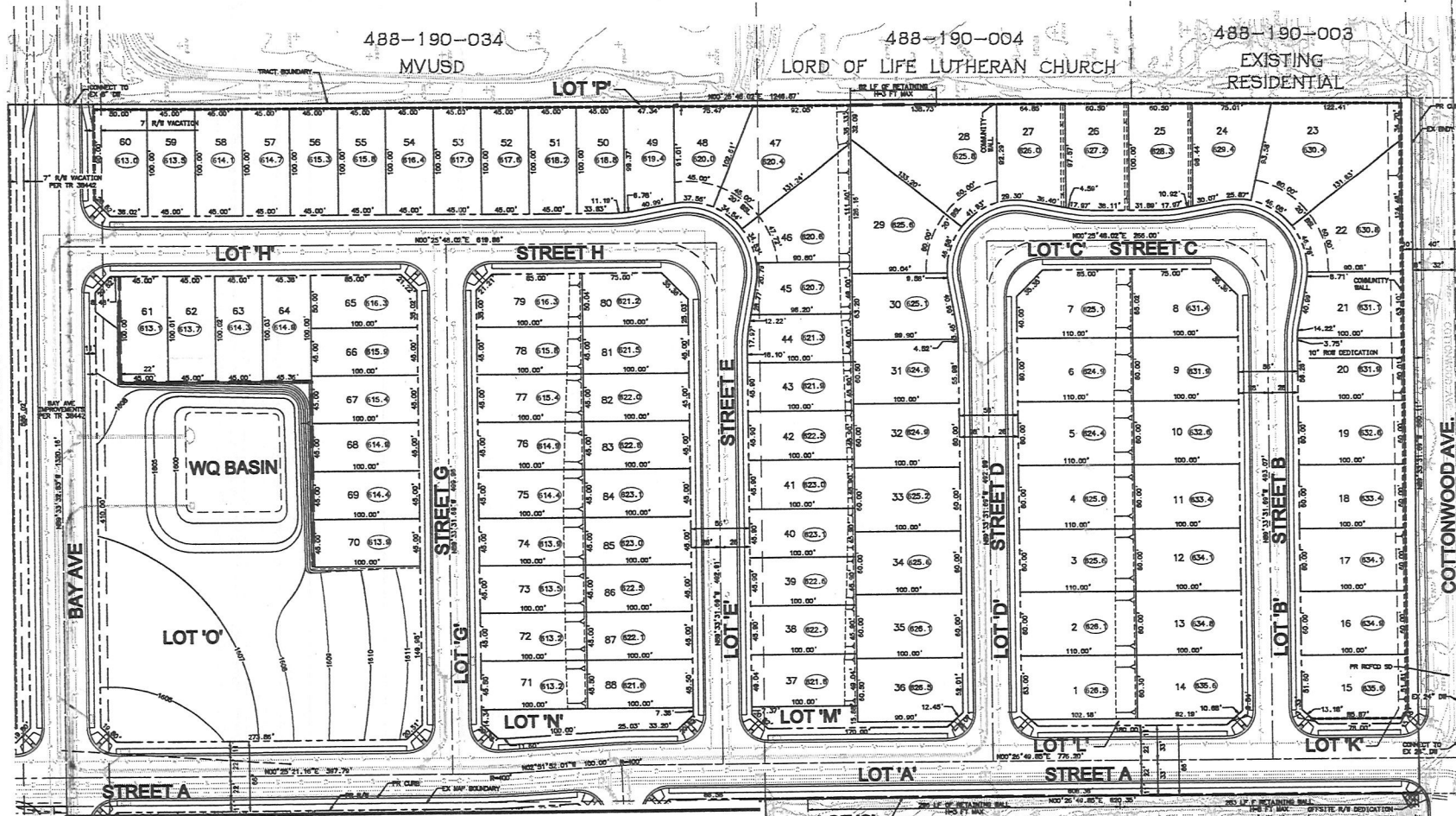
LORD OF LIFE LUTHERAN CHURCH

488-190-003

EXISTING  
RESIDENTIAL

FUTURE IMPROVEMENTS  
PER TRACT 38442

488-180-028  
LIANG CHYR CHANG



SEE SHEET 3

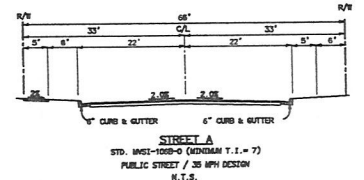
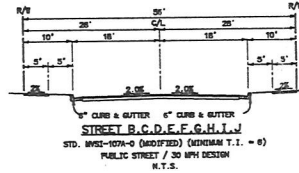
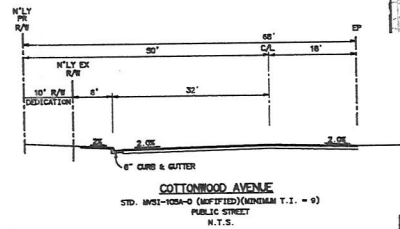
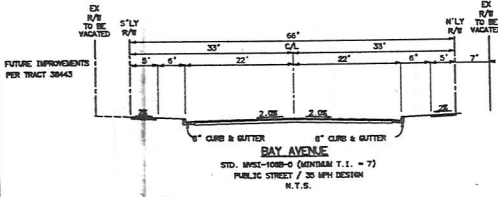
LOT 'S'

488-190-011

EXISTING  
RESIDENTIAL

488-190-006

EXISTING  
RESIDENTIAL



REVISION	DATE	DESCRIPTION

PREPARED BY:

**PROACTIVE**  
ENGINEERING CONSULTANTS  
270 South Main Street, Suite 200  
Corona, CA 92882 (951) 280-3300

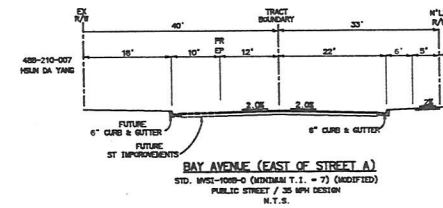
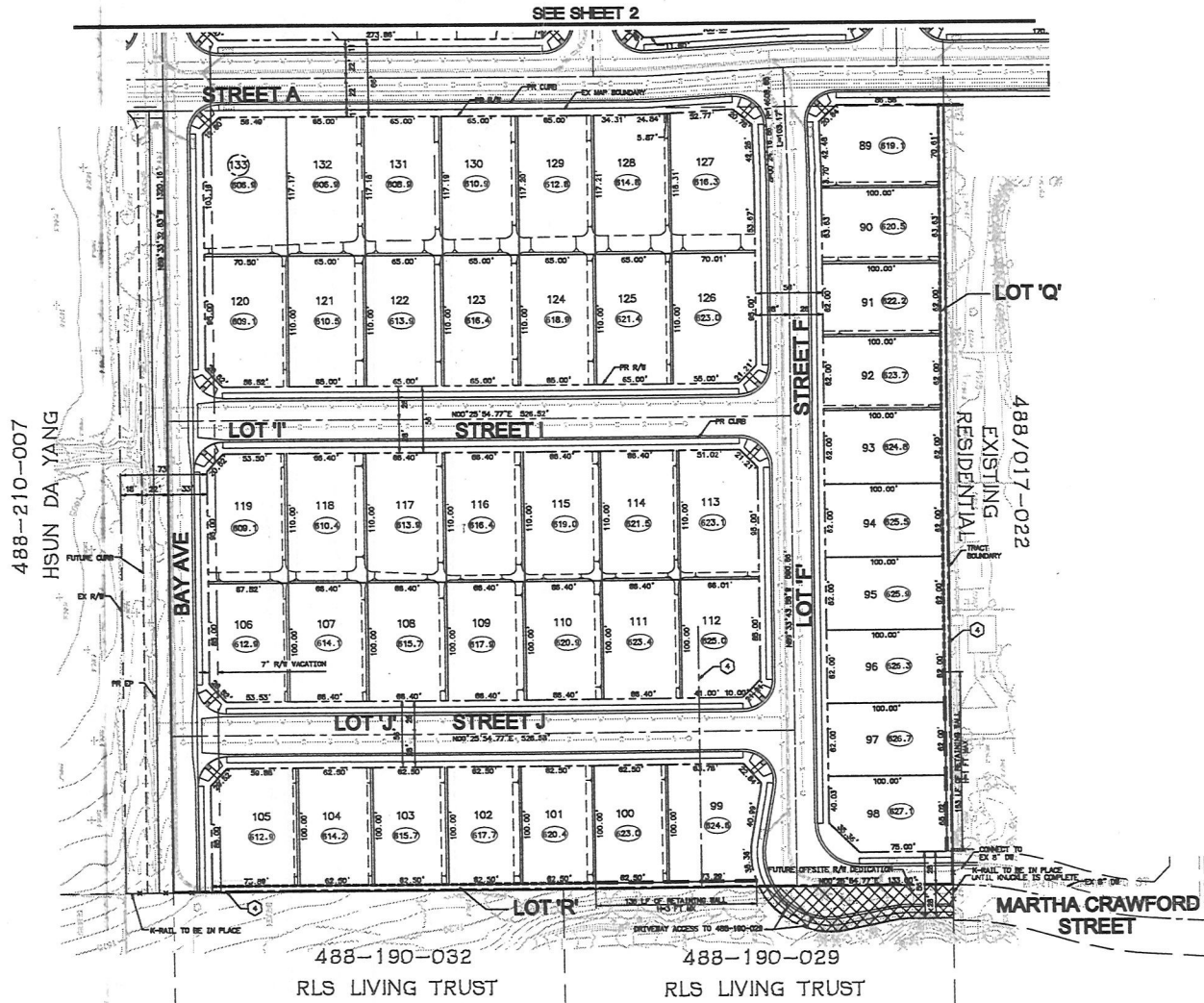


**TENTATIVE TRACT MAP  
38443**  
TENTATIVE MAP  
MAY 2022



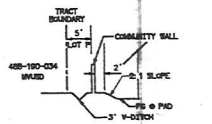
# TENTATIVE TRACT MAP NO. 38443

IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

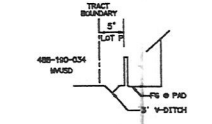


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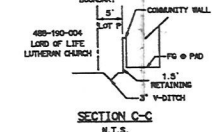
# PRELIMINARY GRADING AND UTILITY PLAN



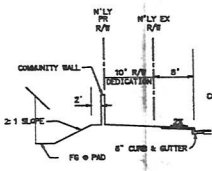
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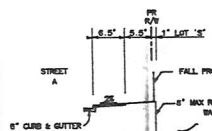
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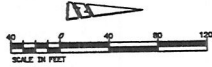
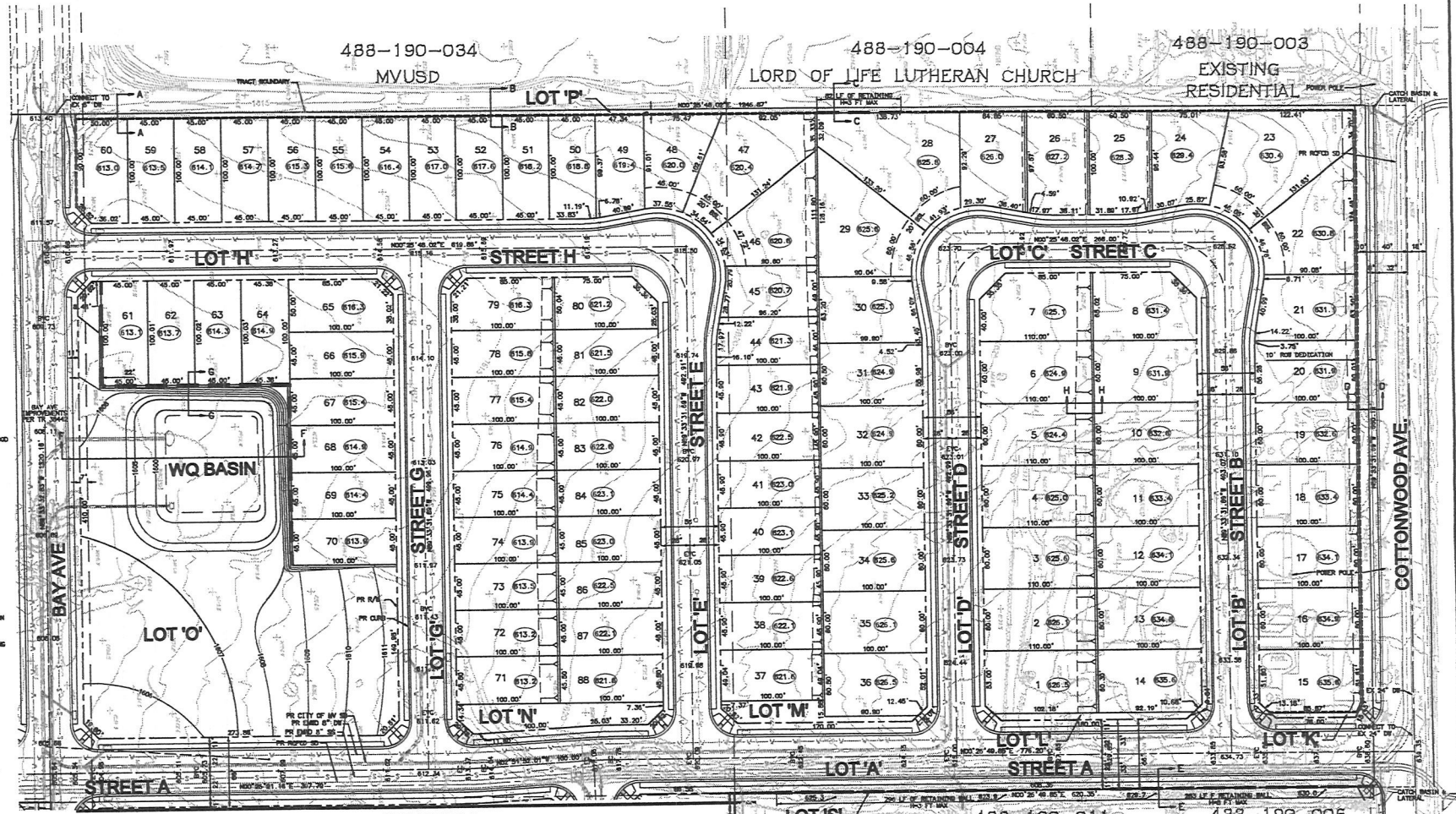
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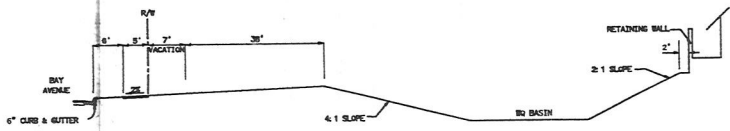
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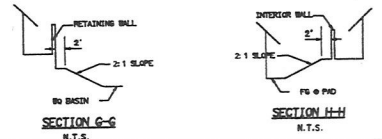
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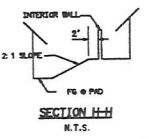
SEE SHEET 4



SECTION F-F  
N.T.S.



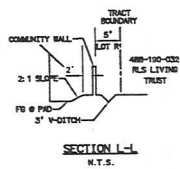
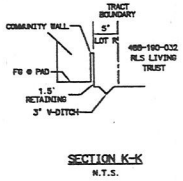
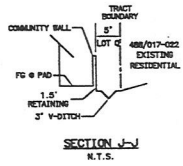
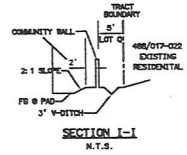
SECTION G-G  
N.T.S.



SECTION H-H  
N.T.S.

<table border="1"> <tr> <th>NO.</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	NO.	DESCRIPTION											<p>PROACTIVE ENGINEERING CONSULTANTS 200 South Main Street, Suite 200 Corona, CA 92682 (951) 280-3300</p>	<p>TENTATIVE TRACT MAP 38443 PRELIMINARY GRADING AND UTILITY PLAN MAY 2022</p>	<p>SHEET 4 OF 5</p>
	NO.	DESCRIPTION													

# PRELIMINARY GRADING AND UTILITY PLAN



488-210-007  
HSUN DA YANG



REVISION	DATE	DESCRIPTION

PROACTIVE  
ENGINEERING CONSULTANTS  
201 North Main Street, Suite 300  
Orange, CA 92668 (951) 255-8300



TENTATIVE TRACT MAP  
38443  
PRELIMINARY GRADING AND UTILITY PLAN  
MAY 2022

OF	5
OF	5



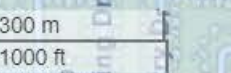
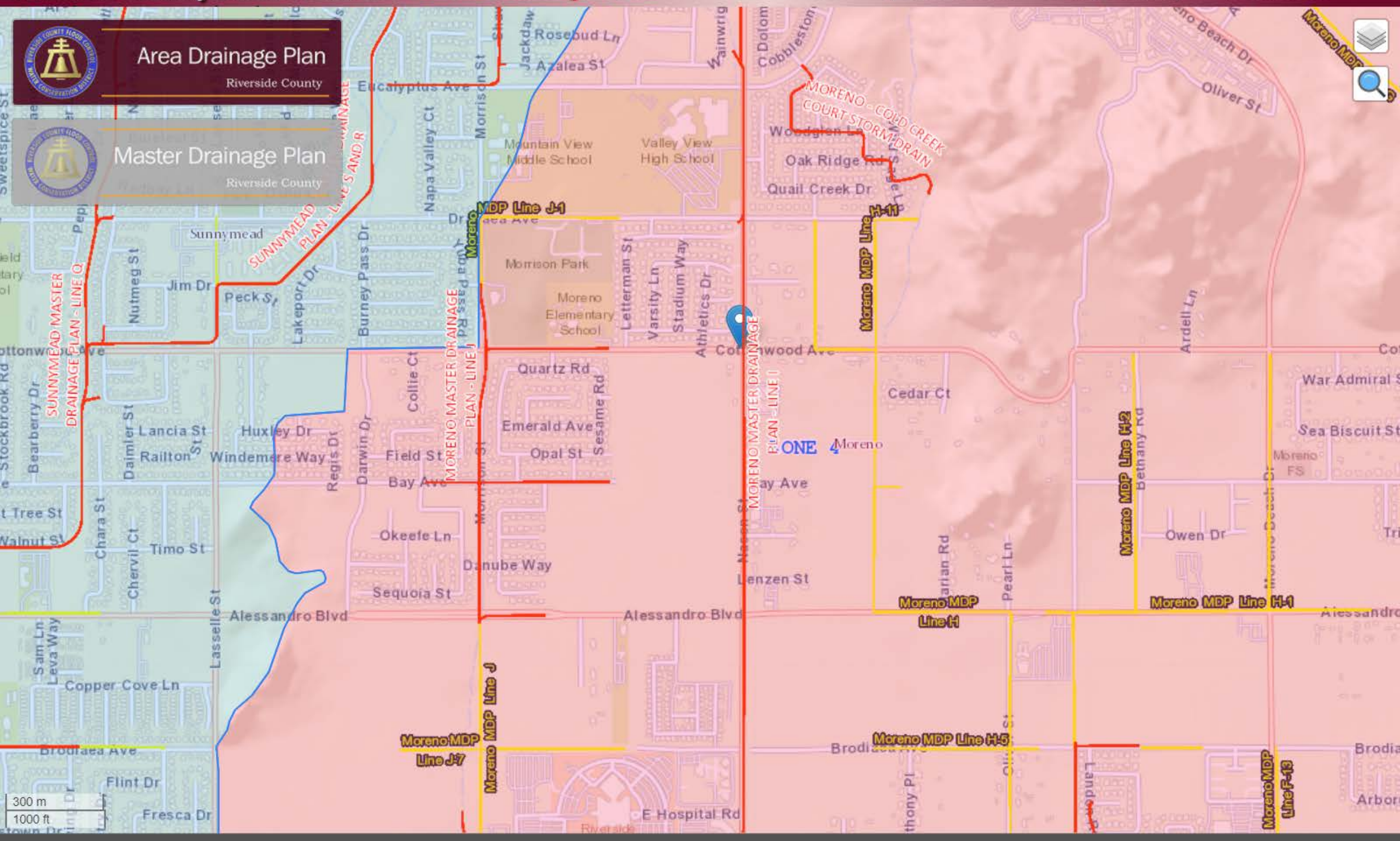
# Area Drainage Plan

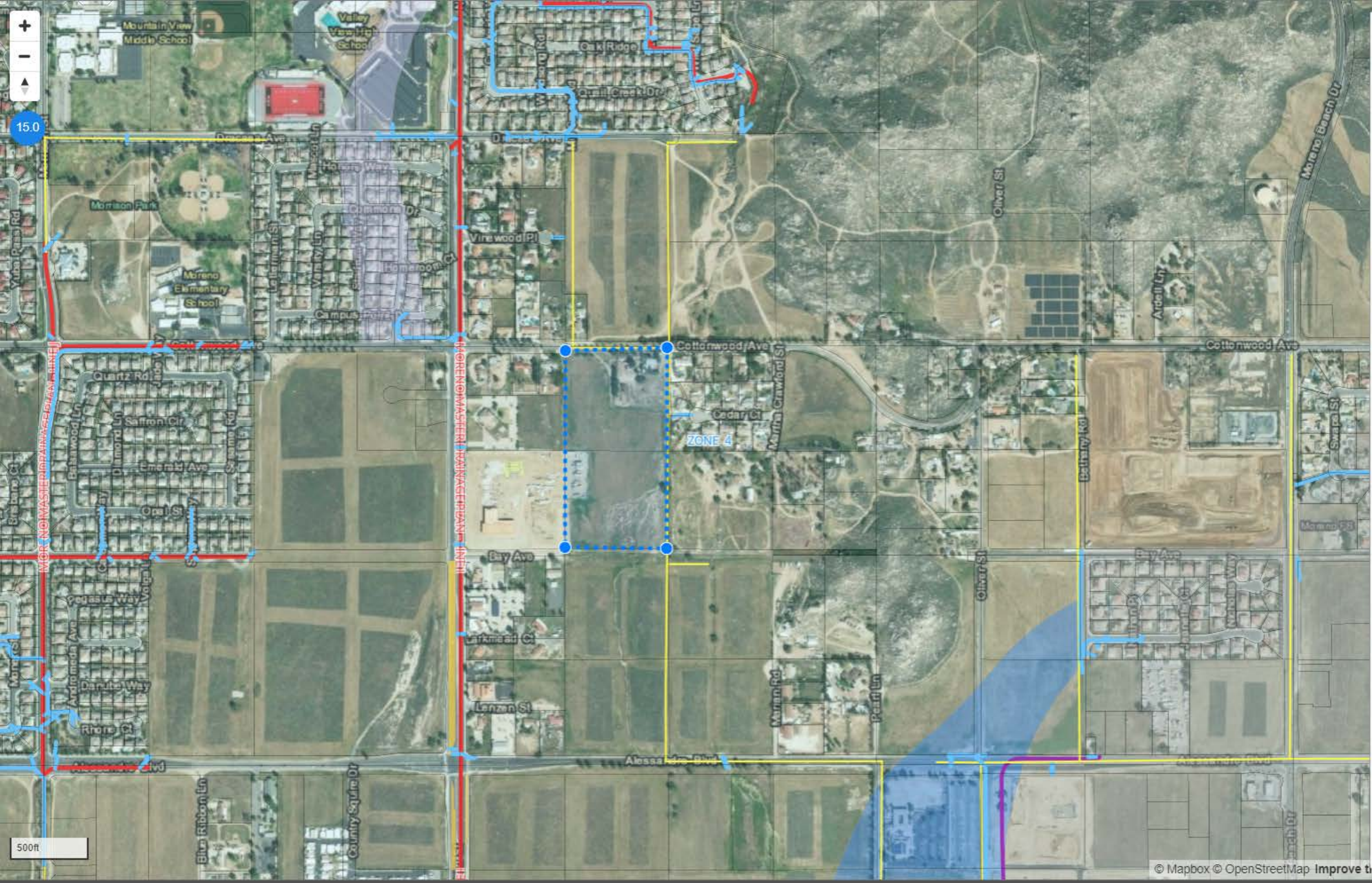
Riverside County



# Master Drainage Plan

Riverside County





15.0

500ft

MORENO VALLEY DRAINAGE PLAN

ZONE 4

February 28~~7~~, 2023

City of Moreno Valley  
 Community Development Department Planning Division  
 Post Office Box 88005  
 Moreno Valley, CA 92552-0805

Attention: Mr. John Moreno

Re: ~~Tentative Tract~~ PEN 22-0130 (~~Tentative Tract Map 38443~~), GPA 0133, CZ 0134, CUP-PUD 0136, APNs 488-190-005, ~~and~~ 488-190-027 ~~and~~ 488-190-028

**Commented [MA1]:** I noticed this by following the TR 38443 plans. You can see in the vicinity map that it has 3 squares.

The Riverside County Flood Control and Water Conservation District (District) does not normally recommend conditions for land divisions or other land use cases in incorporated cities. The District also does not plan check City land use cases or provide State Division of Real Estate letters or other flood hazard reports for such cases. District comments/recommendations for such cases are normally limited to items of specific interest to the District including District Master Drainage Plan facilities, other regional flood control and drainage facilities which could be considered a logical component or extension of a master plan system, and District Area Drainage Plan fees (development mitigation fees). In addition, information of a general nature is provided.

The District's review is based on the above-referenced project transmittal, received February 23, 2023. The District **has not** reviewed the proposed project in detail, and the following comments do not in any way constitute or imply District approval or endorsement of the proposed project with respect to flood hazard, public health and safety, or any other such issue:

- This project would not be impacted by District Master Drainage Plan facilities, nor are other facilities of regional interest proposed.
- This project involves District proposed Master Drainage Plan facilities, namely, Moreno Master Drainage Plan Line H and Line H-4 to protect the site from offsite flows and serve as an adequate outlet. A portion of Moreno Master Drainage Plan Line H (Project No. 4-0-00763 and DWG No. 4-0867) is owned, operated and maintained by the District and located one mile south at the intersection of Oliver Street and Cactus Avenue. The District will accept ownership of such facilities on written request by the City. The Project Applicant shall enter into a cooperative agreement establishing the terms and conditions of inspection, operation, and maintenance with the District and any other maintenance partners. Facilities must be constructed to District standards, and District plan check and inspection will be required for District acceptance. Plan check, inspection, and administrative fees will be required. All regulatory permits (and all documents pertaining thereto, e.g., Habitat Mitigation and Monitoring Plans, Conservation Plans/Easements) that are to be secured by the Applicant for both facility construction and maintenance shall be submitted to the District for review. The regulatory permits' terms and conditions shall be approved by the District prior to improvement plan approval, map recordation, or finalization of the regulatory permits. There shall be no unreasonable constraint upon the District's ability to operate and maintain the flood control facility(ies) to protect public health and safety.
- This project proposes channels, storm drains 36 inches or larger in diameter, or other facilities that could be considered regional in nature and/or a logical extension a District's facility, the District would consider accepting ownership of such facilities on written request by the City. The Project Applicant shall enter into a cooperative agreement establishing the terms and conditions of inspection, operation, and maintenance with the District and any other maintenance partners. Facilities must be constructed to District standards, and District plan check and inspection will be required for District acceptance. Plan check, inspection, and administrative fees will be required. The regulatory permits' terms and conditions

City of Moreno Valley  
Re: ~~Tentative Tract~~ PEN 22-0130 (Tentative Tract Map 38443),  
GPA 0133, CZ 0134, CUP-PUD 0136,  
APNs 488-190-005, ~~and~~ 488-190-027, ~~and~~  
488-190-028

- 2 -

February 28~~7~~, 2023

51183

shall be approved by the District prior to improvement plan approval, map recordation, or finalization of the regulatory permits. There shall be no unreasonable constraint upon the District's ability to operate and maintain the flood control facility(ies) to protect public health and safety.

- This project is located within the limits of the District's Moreno Area Drainage Plan for which drainage fees have been adopted. If the project is proposing to create additional impervious surface area, applicable fees should be paid (in accordance with the Rules and Regulations for Administration of Area Drainage Plans) to the Flood Control District or City prior to issuance of grading or building permits. Fees to be paid should be at the rate in effect at the time of issuance of the actual permit.
- An encroachment permit shall be obtained for any construction related activities occurring within District right of way or facilities, namely, Moreno Master Drainage Plan Line H. If a proposed storm drain connection exceeds the hydraulic performance of the existing drainage facilities, mitigation will be required. For further information, contact the District's Encroachment Permit Section at 951.955.1266.
- The District's previous comments are still valid.

#### GENERAL INFORMATION

This project may require a National Pollutant Discharge Elimination System (NPDES) permit from the State Water Resources Control Board. Clearance for grading, recordation or other final approval should not be given until the City has determined that the project has been granted a permit or is shown to be exempt.

If this project involves a Federal Emergency Management Agency (FEMA) mapped floodplain, then the City should require the applicant to provide all studies, calculations, plans and other information required to meet FEMA requirements, and should further require that the applicant obtain a Conditional Letter of Map Revision (CLOMR) prior to grading, recordation or other final approval of the project, and a Letter of Map Revision (LOMR) prior to occupancy.

The project proponent shall bear the responsibility for complying with all applicable mitigation measures defined in the California Environmental Quality Act (CEQA) document (i.e., Negative Declaration, Mitigated Negative Declaration, Environmental Impact Report) and/or Mitigation Monitoring and Reporting Program, if a CEQA document was prepared for the project. The project proponent shall also bear the responsibility for complying with all other federal, state, and local environmental rules and regulations that may apply.

If a natural watercourse or mapped floodplain is impacted by this project, the City should require the applicant to obtain a Section 1602 Agreement from the California Department of Fish and Wildlife and a Clean Water Act Section 404 Permit from the U.S. Army Corps of Engineers, or written correspondence from these agencies indicating the project is exempt from these requirements. A Clean Water Act Section 401 Water Quality Certification may be required from the local California Regional Water Quality Control Board prior to issuance of the Corps 404 permit.

Very truly yours,

AMY MCNEILL  
Engineering Project Manager

c: Riverside County Planning Department

City of Moreno Valley - 2 -  
Re: ~~Tentative Tract~~ PEN 22-0130 (Tentative Tract Map 38443),  
GPA 0133, CZ 0134, CUP-PUD 0136,  
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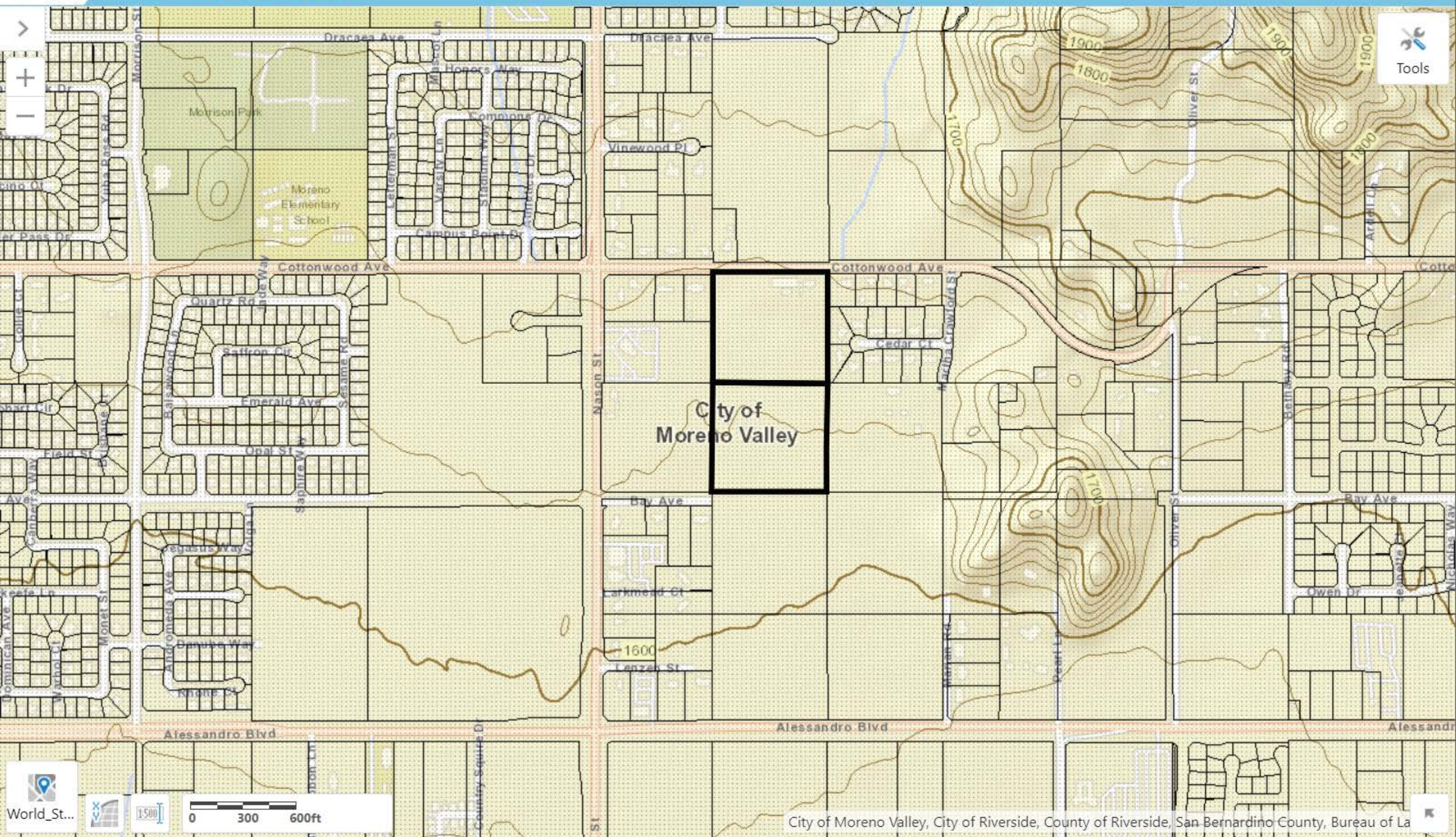
February 28~~7~~, 2023

51183

Attn: Timothy Wheeler

EM:@@





City of  
Moreno Valley



# SAN GORGONIO CHAPTER

## *Moreno Valley Group*

Principal Planner Julia Descoteaux,

July 3, 2024

RE: Sunset Crossings (North) General Plan Amendment (GPA)

The Sierra Club appreciates this opportunity to express some thoughts on another General Plan Amendment (GPA) for the Sunset Crossings (North) Housing project.

Both our 2006 and 2021 General Plans already made sure we had a variety of housing/lot size choices for the needs/desires of the public.

How many General Plan Amendments (GPA) has the planning department discouraged and how many have they not recommended for approval? If the answer is none or almost none, then why have a General Plan? The zoning in a General Plan is supposed to represent much of what the residents wanted and not changed because it allows the developer to make more money by acquiring cheaper land and requesting a more intense use — such as R3 to R10. Moreno Valley already has land south of SR-60 that is already zoned R10 and therefore this GPA is not needed.

The March 2024 Inland Empire Magazine has a good article by two long-time realtors on state of the current home market. In response to the question “What are people looking for in homes today?” The following answer was provided by Brad Alewine: “**Buyers are motivated by land (large lots) and amenities.** Properties that accommodate a high quality of life as well as entertaining and recreational needs remain most popular. Equestrian properties are at a high level of interest currently.” (page 81)

The current R3 zoning is a very good size for family homes with a yard for children to play and room for a small garden or fruit trees. Such homes allow families to stay in Moreno Valley as they outgrow their starter home. R3 and R2 zoning for homes are exactly what people who own businesses and generate jobs usually seek. Many years ago Moreno Valley hired a consultant that told us that such R2 and R3 lots needed to be preserved to attract business owners to our city who would generate local jobs.

Many times R10 zoning leads to homes that are two stories — at least 26 feet high --that are not good for the growing Senior population. R3 zoning makes it easier for homes to remain single story which is what our elder population needs and also gives them an opportunity to have a flower and/or vegetable garden which many of us enjoy. Too high a percentage of recently approved homes have been two story, We need to require at least 25% and ideally more of all homes to be single story for the benefit of our aging population.

The City Council during their June 25th meeting approved the following item:

**I.16**

**RESOLUTION SETTING ASIDE RESOLUTIONS 2021-46 AND 2021-47 AND ORDINANCE REPEALING ORDINANCE NO. 981 (REPORT BY: CITY ATTORNEY)**

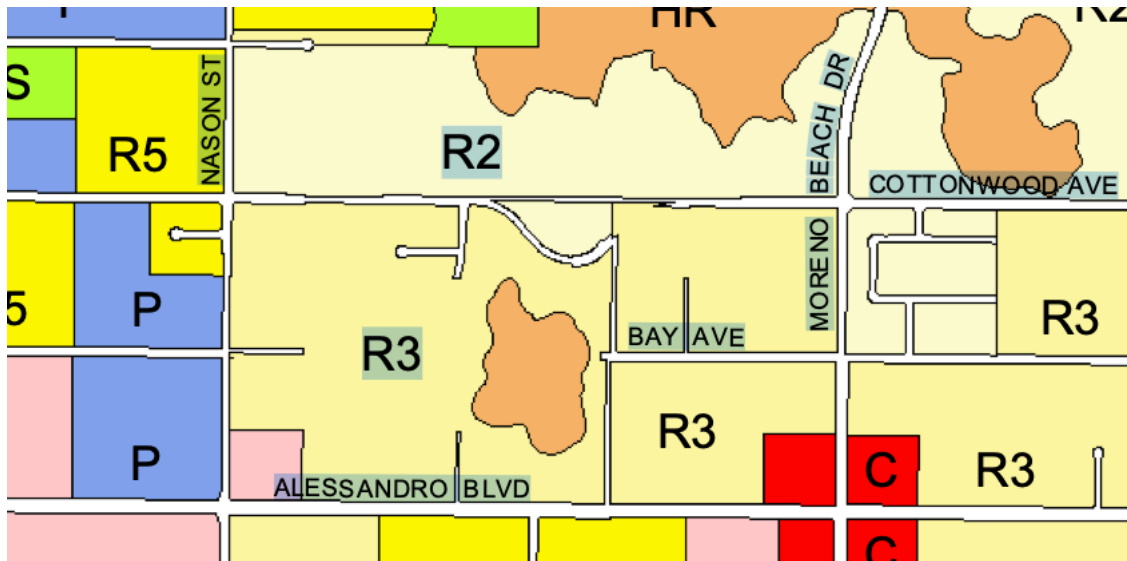
\_\_\_I.16 RESOLUTION SETTING ASIDE RESOLUTIONS 2021-46 AND 2021-47 AND ORDINANCE REPEALING ORDINANCE NO. 981 (REPORT BY: CITY ATTORNEY)

1. [1.STAFF REPORT\\_SETASIDE\\_GPU.pdf](#)
2. [2.SET ASIDE RESOLUTION.pdf](#)
3. [3.SET ASIDE ORDINANCE.pdf](#)

A Resolution setting aside Resolutions 2021-46 and 2021-47 and Ordinance repealing Ordinance No. 981 related to the approval of MoVal 2040 General Plan Update and Climate Action Plan and related Zoning Ordinance Amendment and Final Program Environmental Impact Report

To help the public, agencies and groups make comments on this project we need easy access to Moreno Valley's 2006 General Plan or the updated version which the city will be using going forward for the near future. It needed to be posted on the City's website and maybe as part of this public release of documents for this project. The fact some of the project's documents refers to the 2006 General Plan means they knew the above City Council vote was very likely.

Failing to provide the public with the 2006 General Plan and/or any updates during the review of this project means the public needs to be given more time to submit comments and provided the version of the 2006 General Plan the city will be using. Without the correct General Plan document we are supposed to be using to compare this project undercuts our ability to make substantial comments. Failing to do this is counter to the purpose of CEQA which is supposed to make reviewing and understanding a project's impacts on the environment easily understood by the general public.



What I believe is the Moreno Valley 2006 Zoning Map, but not sure

The Initial Study(IS) has the following:

"Land uses surrounding the project include office, public (educational) facilities, and residential uses that are consistent with their respective permitted densities and complete with right-of-way improvements such as sidewalks, lighting, and landscaping." (IS page 37) **Looking at the zoning map found above this statement is totally misleading and must be corrected. The area needs to remain R3 zoning as people expected based on the 2006 and even the 2021 General Plan. Do not change it to make the developer even richer, we already have a wide variety of housing stock and land zoned to permit R10 housing without a GPA.**

"The architectural design of the project would adhere to the requirements of 2040 General Plan Land Use and Community Character Element Policy LCC.3-15, which requires that new project designs provide building placement variations, roofline variations, architectural projections, and other embellishments to enhance the visual interest along residential streets. The project design would also adhere to the 2040 General Plan Land Use and Community Character Element Policy LCC.3-13, which states that new and retrofitted fences and walls should incorporate landscape elements and changes in materials or texture to deter graffiti and add visual interest." (IS pages 44/45) **While this section tries to give the impression that the 2006 General Plan is consistent with the above, the wording leads you to believe otherwise. Again we need the 2006 General Plan that will be used provided to us which will allow us to compare.**

"While project implementation would change the visual quality of the site and its surroundings, the proposed project would not degrade the visual quality of the project area because the project is consistent with the City's design guidelines and is consistent with the surrounding development. Therefore, with adherence to the City's design policies and goals, impacts would be less than significant" (IS page 45) **Housing units that are 26 ft in height on less than 6,000 sq ft lots with many on only 4,000 sq ft will act like a wall and blocking most special views in the area. R2/R3 zoning like many nearby existing homes do not cause this visual obstruction.**

"Although the project would increase light and glare in the surrounding area, light and glare produced on-site would be similar to that of the surrounding development. Adherence to State and local standards and regulations would reduce impacts to less than significant levels. Impacts would be less than significant. " **(IS page 46) Light pollution in adjacent neighborhoods/homes where there are 1/2 acre and 1/3 acre homes is not a problem and dark skies with being able to see stars is wonderful. if this project is allowed, Light pollution/glare becomes a big problem and it is not true it is similar to surrounding development.**

They determine the project will have "Less than a Significant Impact" on our air quality in our already non-attainment region. "The project would not result in a long-term impact on the region's ability to meet State and Federal air quality standards". **(IS page 54) The project is adding 500 more people than current R3 zoning with their additional pollution they would add to Moreno Valley. Their analysis doesn't include the pollution generated by gas appliances nor their health impacts on the residents as explained in the article "Natural Gas Used in Homes Contains Hazardous Air Pollutants" in the following link:** <https://www.hsph.harvard.edu/c-change/news/natural-gas-used-in-homes/> **which includes the following words:**

"Consumer-grade natural gas supplied to Massachusetts contains varying levels of at least 21 different hazardous air pollutants, as defined by the [U.S. EPA](#), including benzene, toluene, ethylbenzene, xylene, and hexane."

**This harmful pollution mentioned above is also happening in CA. It impacts on the health of people and the environment is one of the main reasons the proposed Moreno Valley 15,000 unit Aquabella project will not be allowing natural gas lines into their housing units. The Sunset Crossing projects must do the same and if not, must add these pollutions to the analysis of the cumulative impacts to our air quality. They must also provide a Health Assessment in prior to any vote on the project.**

The growth inducing impacts are improperly addressed. The documents failed to envision nearby lands being degraded by this project's high density which will destroy the feeling those wishing to live how R2 and R3 zoning allows. Other developers will buy the cheaper R3 zoning instead of the more expensive currently zoned R10 lands.

The idea that the project will have private internal roads should raise red flags. This means the residents 20 or 30 years from now will need to continue to provide the necessary money to maintain them. How is the city protected from not ever having to step up and pay for the maintenance of those roads. Will there be restrictions on parking on the street? Small lots with less than standard streets will result in both sides of the roads having cars lining both sides of each road. Will the driveways allow the current car of choice (SUV) be parked in the driveway without impacting the sidewalk as well as allowing the garage door to open?

The City approval of so many GPA's since 2006 and 2021 means the General Plan is no longer internally consistent. Prior to any vote on the Sunset Crossings' (North) GPA it must be proven that the project doesn't add to making this problem worse.

The Biological sections show how very special this area is and how it must be mitigated at a 3 to 1 ratio. The choices provided for that mitigation must be refined to select one as close to Moreno Valley as possible with the best chance of surviving forever. The Sierra Club expects to see the comparison and analysis of each possible mitigation location prior to any vote on the project.

Please keep me informed of all documents and meetings related to the Sunset Crossings (North) project.

Sincerely,

George Hague  
Sierra Club  
Moreno Valley Group  
Conservation Chair

# Natural Gas Used in Homes Contains Hazardous Air Pollutants

06/28/2022 | **Harvard Chan C-CHANGE**

*Policymakers and individuals can act to mitigate potential health risks*

Boston – Every day, millions of Americans rely on natural gas to power appliances such as kitchen stoves, furnaces, and water heaters, but until now very little data existed on the chemical makeup of the gas once it reaches consumers.

A [new study](#) finds that natural gas used in homes throughout the Greater Boston area contains varying levels of volatile organic chemicals that when leaked are known to be toxic, linked to cancer, and can form secondary health-damaging pollutants such as particulate matter and ozone. The research by the [Center for Climate, Health, and the Global Environment at Harvard T.H. Chan School of Public Health](#), PSE Healthy Energy, Atmospheric and Environmental Research (AER), Gas Safety Inc., Boston University, and Home Energy Efficiency Team (HEET) was published in *Environmental Science & Technology*.

“It is well-established that natural gas is a major source of methane that’s driving climate change,” **said Drew Michanowicz, Visiting Scientist at Harvard Chan C-CHANGE and Senior Scientist at PSE Healthy Energy.** “But most people haven’t really considered that our homes are where the pipeline ends and that when natural gas leaks it can contain health-damaging air pollutants in addition to climate pollutants.”

Researchers conducted a hazard identification study, which evaluated whether air pollutants are present in unburned natural gas, but did not evaluate human exposure to those pollutants. Between December 2019 and May 2021, researchers collected over 200 unburned natural gas samples from 69 unique kitchen stoves and building pipelines across Greater Boston. From these samples, researchers detected 296 unique chemical compounds, 21 of which are federally designated as hazardous air pollutants. They also measured the concentration of odorants in consumer-grade natural gas – the chemicals that give gas its characteristic smell – and found that leaks containing about 20 parts per million methane may not have enough odorant for people to detect them. The samples were taken from the territories of Eversource Gas, National Grid, and the former Columbia Gas, who together provide service to 93% of Massachusetts gas customers.

Key findings:

- Consumer-grade natural gas supplied to Massachusetts contains varying levels of at least 21 different hazardous air pollutants, as defined by the [U.S. EPA](#), including benzene, toluene, ethylbenzene, xylene, and hexane.

- Concentrations of hazardous air pollutants in natural gas varied depending on location and time of year, with the highest concentrations found in the winter.
- Based on odorant concentrations, small leaks can be undetectable by smell – leaks up to 10 times naturally occurring levels may be undetectable, equating to a methane concentration of about 20 parts per million.

When gas leaks occur, even small amounts of hazardous air pollutants could impact indoor air quality because natural gas is used by appliances in close proximity to people. Persistent outdoor gas leaks located throughout the distribution system may also degrade outdoor air quality as precursors to particulate matter and ozone.

“This study shows that gas appliances like stoves and ovens can be a source of hazardous chemicals in our homes even when we’re not using them. These same chemicals are also likely to be present in leaking gas distribution systems in cities and up the supply chain,” **said Jonathan Buonocore, co-author and Research Scientist at Harvard Chan C-CHANGE.** “Policymakers and utilities can better educate consumers about how natural gas is distributed to homes and the potential health risks of leaking gas appliances and leaking gas pipes under streets, and make alternatives more accessible.”

The researchers share actions that policymakers and individuals can take to mitigate health risks posed by natural gas used in homes.

### **Policy Actions:**

- Gas pipeline companies could be required to measure and report more detailed information on the composition of natural gas, specifically differentiating non-methane volatile organic compounds such as benzene and toluene.
- Gas utility providers could be required to routinely measure and report natural gas odorant content to customers similar to informational postings often produced by interstate gas pipeline companies.
- State regulations could require direct measurement of leaked, unburned natural gas in ambient air to be included in emissions inventories and to better determine public health risks.
- The Consumer Product Safety Commission has the authority to set performance standards for gas stoves and ventilation hoods to limit air pollutant emissions.
- Home inspectors and contractors could be required to perform natural gas-appliance leak detection surveys or to measure for ppm-range methane, similar to radon tests done prior to the completion of a real estate transaction.
- Given the importance of odorants in detecting gas leaks, [federal natural gas odorization regulations](#) could be updated so that natural gas is odorized to meet much lower detection levels than the current 1/5th the lower explosion limit (detectable at ~1% methane).

### **Individual Actions:**



- Because small leaks may evade our sense of smell, getting an in-home natural gas leak detection survey performed by a licensed plumber or heating, ventilation, and air conditioning (HVAC) contractor can verify that no small leaks are present.
- Increasing ventilation is one of the most accessible and important actions to reduce sources of indoor pollution. Opening windows and turning on a vent that exhausts to the outside when cooking are simple steps that can lower the risk of indoor exposure.
- If you smell gas, exit the building and then immediately call your gas company to assess whether there is a leak in or nearby your home.

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### **About Harvard Chan C-CHANGE**

The Center for Climate, Health, and the Global Environment at Harvard T. H. Chan School of Public Health (Harvard Chan C-CHANGE) increases public awareness of the health impacts of climate change and uses science to make it personal, actionable, and urgent. Led by Dr. Aaron Bernstein, the Center leverages Harvard's cutting-edge research to inform policies, technologies, and products that reduce air pollution and other causes of climate change. By making climate change personal, highlighting solutions, and emphasizing the important role we all play in driving change, Harvard Chan C-CHANGE puts health outcomes at the center of climate actions. To learn more visit <https://www.hsph.harvard.edu/c-change/>.



## Hazardous Air Pollutants

CONTACT US <https://epa.gov/haps/forms/contact-us-about-hazardous-air-pollutants>

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<https://www.epa.gov/haps>

# What are Hazardous Air Pollutants?

Hazardous air pollutants, also known as toxic air pollutants or air toxics, are those pollutants that are known or suspected to cause cancer or other serious health effects, such as reproductive effects or birth defects, or adverse environmental effects. EPA is working with state, local, and tribal governments to reduce air emissions of 188 toxic air pollutants <https://epa.gov/haps/initial-list-hazardous-air-pollutants-modifications> to the environment.

Examples of toxic air pollutants include

- benzene, which is found in gasoline;
- perchloroethylene, which is emitted from some dry cleaning facilities; and
- methylene chloride, which is used as a solvent and paint stripper by a number of industries.

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## About Hazardous Air Pollutants

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### What are Hazardous Air Pollutants?

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Health and Environmental Effects  
<<https://epa.gov/haps/health-and-environmental-effects-hazardous-air-pollutants>>

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Reducing Emissions  
<<https://epa.gov/haps/reducing-emissions-hazardous-air-pollutants>>

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Urban Air Toxics  
<<https://epa.gov/haps/urban-air-toxics>>

Examples of other listed air toxics include dioxin, asbestos, toluene, and metals such as cadmium, mercury, chromium, and lead compounds.

## Hazardous Air Pollutant Data and Control Strategies

<https://epa.gov/haps/hazardous-air-pollutant-data-and-control-strategies>

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