

TRACT 38443

SINGLE FAMILY DETACHED HOMES
MORENO VALLEY, CALIFORNIA
PLANNED UNIT DEVELOPMENT



PLAN 1.1898 | B - TRADITIONAL

PLAN 2.2239 | A - SPANISH

PLAN 3.2537 | C-CRAFTSMAN

PLAN 4.2617 | B - TRADITIONAL

AMBER SKY - 6000 SF LOTS



PLAN 2.2068 | D - TUSCAN

PLAN 3.2311 | A - SPANISH

PLAN 1.1968 | B - TRADITIONAL

VANTAGE - 4500 SF LOTS

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1.1 Introduction

Tract 38443 is located on approximately 28.2 acres in the city of Moreno Valley, Riverside County, California. Specifically located north of Bay Ave and south of Cottonwood Ave.

The location of tract 38443 is depicted on Figure 1-1: Vicinity Map

This tract consists of 135 Single Family lots with two different lot sizes, 84 units with a minimum size of 4500 square feet and 51 units with a minimum size of 6000 square feet.

This Planned Unit Developments is for the design of homes within Tract 38443 neighborhoods.

Figure 1-1: Vicinity Map



1.2 Residential Design Standards

Homeowners Association (HOA)

A Homeowners Association (HOA) will be formed to own and maintain the private facilities throughout the community. The HOA will be responsible for the maintenance of drainage access lots and water quality basins. Landscape lots that are not within the trail running along A Street will be HOA maintained as well.

Publicly Maintained Lots (City of Moreno Valley)

Tract 38443 is proposing a 1.6 acre public park located inside the community. The park will be a public park eventually owned and maintained by the City of Moreno Valley Parks and Recreation Department. The Developer will work with the Parks and Recreation Department during the design phase to design the park per their standards and specifications. The final amenities will be selected and confirmed with the Park and Recreation Department during the design phase. The Developer will fully develop the park per the approved park improvement plan and once accepted by the Parks and Recreation Department, The Developer will dedicate the park to the Parks and Recreation Department for ownership and maintenance. All proposed streets are to be public, including Bay Ave, and owned and maintained by the city.

Entry Monument, Perimeter Landscaping, Walls/Fences

Entry monument signs representing the marketing name “Sunset Crossings” will be located at the entrances to the community from Alessandro Blvd and Cottonwood Ave to advertise the community. Final locations will be determined during the design phase. Perimeter landscape will be designed in accordance with the requirements provided the city as they will be maintaining the landscaping along Alessandro Blvd and Cottonwood Ave.

Amber Sky TR 38443	
Requirement	
1. Maximum density (DUs* per net acre)	6
2. Minimum lot size (sq. ft. net area)	6,000
3. Minimum lot width, in feet	60'
4. Standard lot depth, in feet*	100'
5. Minimum front yard setback	
Front-facing garages	20'
Buildings other than front-facing garages	18'
6. Minimum side yard setback, in feet	5'
7. Minimum rear yard setback, in feet	10'
8. Maximum lot coverage	45%
9. Maximum building and structure height, in feet	26'
10. Minimum dwelling size (sq. ft.)	1898
11. Minimum distance between buildings, in feet (including main DUs and accessory structures)**	10
12. Maximum Floor area ratio	0.4
13. Lot frontage at R/W on knuckles and cul-de-sacs.	60' at 20' BSL

*In knuckles and cul-de-sacs, standard lot depth may be reduced. Minimum lot size still met.

**Alternative setback value to be determined by city if later additions are to be made to the home by future occupant.

Vantage TR 38443	
Requirement	
1. Maximum density (DUs* per net acre)	6
2. Minimum lot size (sq. ft. net area)	4,500
3. Minimum lot width, in feet	45'
4. Standard lot depth, in feet*	100'
5. Minimum front yard setback	
Front-facing garages	20'
Buildings other than front-facing garages	18'
6. Minimum side yard setback, in feet	5'
7. Minimum rear yard setback, in feet	10'
8. Maximum lot coverage	45%
9. Maximum building and structure height, in feet	27'
10. Minimum dwelling size (sq. ft.)	1968
11. Minimum distance between buildings, in feet (including main DUs and accessory structures)**	10
12. Maximum Floor area ratio	0.33
13. Lot frontage at R/W on knuckles and cul-de-sacs.	30' & 45' at 20' BSL

*In knuckles and cul-de-sacs, standard lot depth may be reduced. Minimum lot size still met.

**Alternative setback value to be determined by city if later additions are to be made to the home by future occupant.

1.3 Residential Design Guidelines

General Guidelines

Residential units shall be articulated and detailed to provide visual interest and scale by using a minimum of three of the following design elements.

- a. Provide projecting and/or recessed entries and windows.
- b. Include projecting or recessed balconies.
- c. Front porch with a minimum depth of five feet.
- d. Dormer windows.
- e. Minimum eighteen (18) inch roof overhangs with detailed rafter tails.
- f. Offset building planes a minimum of two feet.
- g. Stepping back a portion of the second story.
- h. Use of different building materials with varying textures and colors.

All units shall be designed with four sided architecture using the details from the front elevation.

Varied Plot Plans

Streets within the project should vary in their architectural character to create a sense of individual ownership and personality.

Similar plans and elevations will be plotted as far from one another as possible.

Homes with identical:

Floor Plan
Elevation Style
Color Palette
Orientation

Shall not be plotted within four (4) lots of one another on either side of the street. However, if one of those four (4) elements are changed, floor plans may be moved

closer to one another as follows:

Different floor plans plotted next to one another shall provide different elevation styles with dissimilar color palettes.

The same floor plan with different elevation styles, color palettes, and garage orientation can be plotted within two (2) lots of one another.

The same floor plan with different elevation styles, color palettes, but the same garage orientation can be plotted within three (3) lots of one another.

The same floor plan with different elevation styles, but similar color palettes, and the same garage orientation can be plotted within four (4) lots of one another.

The same floor plan with the same elevation style, dissimilar color palettes, and different garage orientation can be plotted within four (4) lots of one another.

Elevations and Front Yards

All windows and doors shall be trimmed. Each elevation style should have a different trim design in keeping with the style of the home. This trim should be composed in accordance with the style.

Elevations/Styles should be painted in an architecturally authentic way based on the elevation style's historical precedents.

Each elevation style should have a different roofing color.

All elevations visible from streets or common open space shall have the same level of detailing as is present on the front elevation.

Varied window grid patterns in each elevation style is recommended. The grid pattern should be historically accurate.

Front elevation siding/veneer, if different from that on the side elevations, should return a minimum of 3' down on the side elevations.

Windows in garage doors should be optioned where architecturally beneficial.

Trash and recycling bins shall be screened fully with walls or fencing in keeping with the architectural style of the home.

All homes shall be designed with four sided architecture using the details from the front elevation.

Composition shingle roofing should be 40 year minimum.

Minimum plate heights:

8' minimum for first and second floor, can be exceeded.

Foundation walls should be painted to match siding where visible from streets or common open space.

Condenser units shall be placed in private side yards to screen them from view.

Massing

Minimize overall building height when possible and appropriate to the style of the home.

Try to use side to side roofs and hip main spans whenever possible to minimize the impact of the roof on neighboring homes.

Use single story porches against two story masses to help break them down

Proportion

Individual building elements and masses shall be sized in proportion to one another.

Entry elements can be proportioned so as to make them the dominant feature of an elevation.

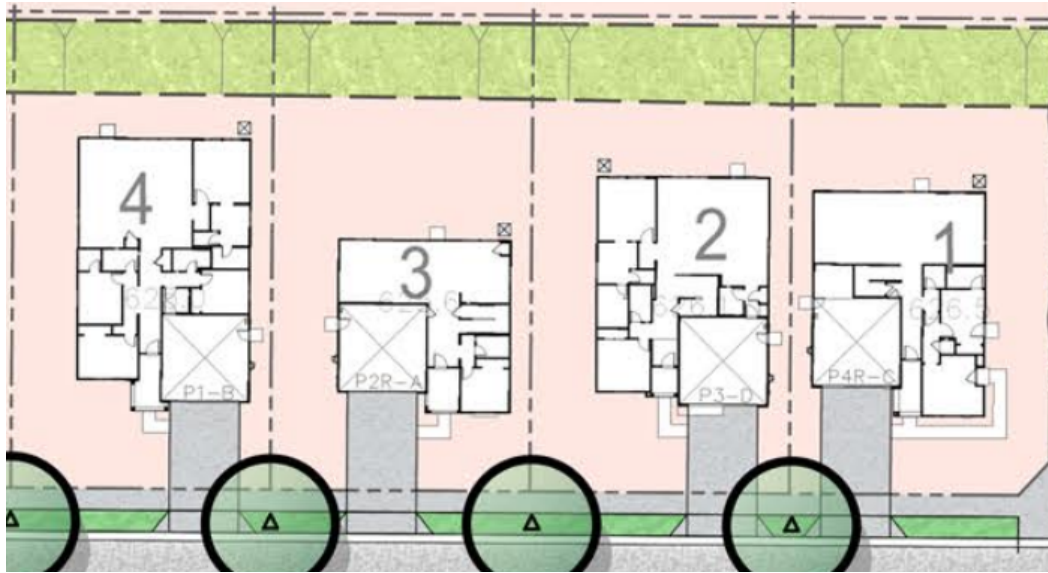
To reduce the proportional dominance of garage doors on any elevation style, they should be more detained in design so as to become an important part of the elevations style for a more appealing appearance

Scale

Scale is important in that elements of a building's composition need to be in balance, as do buildings sited next to one another. That is to say, one element of a building should not be so dominant as to outweigh other elements in a building's makeup. Likewise, a building on one site, should not dominate a building on an adjacent lot.

1.4 Typical Lot Module

This typical lot module demonstrates how the homes are meant to be plotted throughout the project.



Amber Sky (6000 SF)



Vantage (4500 SF)

1.5 Architectural Style Palettes

This section will focus on the architectural styles envisioned for the housing Tract 38443

Vantage (4500 SF) offers three architectural characters including:

- Spanish
- Traditional
- Tuscan

Amber Sky (6000 SF) offers an additional architectural style, including:

- Spanish
- Traditional
- Tuscan
- Craftsman

The following images and text provide an outline of each styles roof and details for reference.



STYLE DESCRIPTION

Inspired by the architecture of Spain and the Spanish missions, the Spanish style consists of simple one to two story massing with mostly gable end roofs of concrete "S" tile. Shallow roof pitches vary from 3:12 to 5:12 with minimal overhangs. Exterior walls consist of light-colored smooth stucco with sand finish. Other elements include recessed windows, gable end tile detailing and plank shutters.

KEY ELEMENTS

- Ⓐ Concrete "S" tile roof
- Ⓑ Stucco finish with light colors.
- Ⓒ Clay or ceramic tile gable end detail.
- Ⓓ Round arches at entrances and/or porches
- Ⓔ Plank Shutters

SPANISH STYLE



STYLE DESCRIPTION

Derived from the Bungalow and Ranch styles, the Traditional style consists of one to two story volumes with gable and hip roofs. Exterior walls comprised of stucco and horizontal siding. The roof pitches vary between 4:12 to 6:12 with average overhangs, and concrete flat tile. Other exterior elements include; porches with square columns or posts, board and batten shutters and pot shelves.

KEY ELEMENTS

- A** Concrete flat tile.
- B** Square columns with stucco over, or wood posts.
- C** Stucco walls with horizontal siding accents.
- D** Board and batten shutters

TRADITIONAL STYLE



STYLE DESCRIPTION

Inspired by the hill towns of Tuscany, the Tuscan style consists of simple, formal massing with a mixture of gable and hip roofs. The roof material consists of concrete "S" tile with a shallow roof pitch of 4:12 to 5:12 with minimal overhangs. The exterior walls are a smooth stucco with earth toned coloring and use of stone veneer. Additional elements include vertically proportioned windows and louvered shutters.

KEY ELEMENTS

- A Concrete "S" tile roof.
- B Stone veneer accents.
- C Louvered shutters.
- D Earth tone colors.

TUSCAN STYLE



STYLE DESCRIPTION

Influenced by the earlier Mission aesthetic, the Craftsman style emphasizes natural materials and attention to detail. Shallow roof pitches vary from 3:12 to 4:12 with deep overhangs. Porches supported by square or tapered columns of either stucco or wood with stone veneer bases. Additional elements include stucco walls, gable end treatments of board and battens with wood brackets, and paired windows.

KEY ELEMENTS

- A Concrete flat tile roof.
- B Stone veneer accents.
- C Board and batten gable end detailing.
- D Deep overhangs at eaves.
- E Square or tapered columns.

CRAFTSMAN STYLE

Spanish

The Spanish style attained wide-spread popularity after the Panama-California exposition of 1915-1916 in San Diego. The Spanish style's most notable characteristics include the use of "S" or barrel tile roofs, stucco walls, feature entry doors and porticos, highlighted ornamental iron work and carefully proportioned windows appropriate to its wall mass.

Key features of this style were adapted to the California lifestyle. Plans were informally organized around a courtyard with the front elevation very simply articulated and detailed. The charm of this style lies in the directness, adaptability and contrasts of materials and textures.

ELEMENT	MENU OF COMMON FEATURES
Form	<ul style="list-style-type: none"> • 2 story asymmetrical massing with strong one story element
Roof	<ul style="list-style-type: none"> • 4:12 to 6:12 roof pitch • 12" to 16" overhang • Simple hip or gable roof with one intersecting gable roof • Barrel or 'S' shape concrete tiles
Walls	<ul style="list-style-type: none"> • Stucco
Windows	<ul style="list-style-type: none"> • Vertical window at front elevation with window grids • Windows with window grids on side and rear elevations in high visibility public view areas • Feature recessed arched window • Single or grouped round top windows
Details	<ul style="list-style-type: none"> • Stucco over foam window and door trim • Feature arched window or door • Surface mounted fixtures on front elevations must complement architectural style • Shaped rafter tails • Garage and front door patterns to complement style • Decorative iron details and railings • Simple Plank shutters • Gable vent tubes
Colors	<p>Field: Whites, beige, or warm tints Trim: Dark shades to contrast field color Accents: Deep tones of green, blue, red (on shutters, door, balcony trim)</p>

Where "wood" is referred to, it can also be interpreted as simulated wood. In addition, some styles can be appropriately expressed without the wood elements, in which case stucco-wrapped, high-density foam trim (with style-appropriate stucco finish) is acceptable. Similarly, pre-cast elements can be satisfied by high-density foam or other similar materials in a style-appropriate finish

Traditional

The American Traditional style as manifested in Southern California was often realized as an East Coast derived expression with Cape Cod influences, and displayed the aspects of practicality and functional elegance. This expression evolved from early Colonial beginnings and truly began to proliferate as an American building style from the 1850s to the early 20th century. In Southern California, the style was employed from the foothill neighborhoods of Pasadena to Los Angeles communities such as Westwood and was occasionally used in combination with the Monterey and Ranch styles to create homes which opened to the exterior gracefully yet retained a sense of formality and reserve.

Features of this style include simple gable roof forms, louvered shutters, and articulated entry surrounds. Dormers and second-floor wood decks are also occasionally used.

ELEMENT	MENU OF COMMON FEATURES
Form	<ul style="list-style-type: none"> • Asymmetrical massing with a vertical and a horizontal break
Roof	<ul style="list-style-type: none"> • 4:12 to 12:12 roof pitch • 16" to 24" overhangs • Concrete tile (slate or shake) • Front to back gable or hip roof with intersecting hip or gable roofs
Walls	<ul style="list-style-type: none"> • Stucco • Wood siding, brick, or board and batten accents
Windows	<ul style="list-style-type: none"> • Vertical window at front elevation with window grids • Windows with window grids on side and rear elevations in high visibility public view areas • Round top accent or bay window
Details	<ul style="list-style-type: none"> • Simplified cornice trim at gable ends • Header window wood accent trim • 2x6 window and door trim - wood on siding, foam on stucco • Surface mounted fixtures on front elevations must complement architectural style • Porches and/or balconies • Garage and front door patterns to complement style • Square wood columns with trim • Brick veneer on base
Colors	<p>Field: Whites, off-white, dark or light colors Trim: White or contrasting with field color Accents: White, light or dark colors in contrast or harmony with field color</p>

Where "wood" is referred to, it can also be interpreted as simulated wood. In addition, some styles can be appropriately expressed without the wood elements, in which case stucco-wrapped, high-density foam trim (with style-appropriate stucco finish) is acceptable. Similarly, pre-cast elements can be satisfied by high-density foam or other similar materials in a style-appropriate finish

Tuscan

During the 15th and 16th century large numbers of houses were built along roads and hillsides in rural Tuscany, many of which, although altered, are still in use today. As this region was and is primarily agricultural, these homes reflect the character of the farmhouse estate or 'podere'. Built by their owners with the indigenous materials and colors of the surroundings, these buildings blend naturally with the land.

The building form and massing is an example of simplicity; a plan that began as a simple rectangular form that evolved organically over time. Smaller components similar to the original form were typically added as necessary to meet the spatial needs of the owner. The resulting building, with the flexibility and variety apparent in this style, is what makes it so appealing. The informality of these rural farmhouse and settlement building types, including their traditional squared towers, eventually became the inspiration for Tuscan villas.

ELEMENT	MENU OF COMMON FEATURES
Form	<ul style="list-style-type: none"> • Rectangular plan form massing with some recessed 2nd floor area • Squared tower elements at entry or upper story
Roof	<ul style="list-style-type: none"> • Main roof hip or gable with intersecting gable roofs • 4:12 to 6:12 roof pitch • 16" overhangs at eaves • Barrel or 'S' shape concrete tiles • Brackets under eaves
Walls	<ul style="list-style-type: none"> • Stucco with stone veneer accents
Windows	<ul style="list-style-type: none"> • Vertical window at front elevation with window grids • Windows with window grids on side and rear elevations in high visibility public view areas • Curved or round top accent windows • Single hung windows at front
Details	<ul style="list-style-type: none"> • Enhanced articulation and detail of entries, windows, doorways and balconies • Entry accents with faux stone • Garage and entry door patterns to complement style • Shutters • Balcony or veranda • Simple 2x4 window and door trim - wood on stone or siding, stucco on stucco • Wrought Iron/Metal or wood balconies and potshelves • Rusticated hardware and details

Where "wood" is referred to, it can also be interpreted as simulated wood. In addition, some styles can be appropriately expressed without the wood elements, in which case stucco-wrapped, high-density foam trim (with style-appropriate stucco finish) is acceptable. Similarly, pre-cast elements can be satisfied by high-density foam or other similar materials in a style-appropriate finish

Colors	Field: Medium, saturated earth tones Trim: Whites tones or light shades complementary to field color Accents: Light or dark shades in contrast with field color
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Where “wood” is referred to, it can also be interpreted as simulated wood. In addition, some styles can be appropriately expressed without the wood elements, in which case stucco-wrapped, high-density foam trim (with style-appropriate stucco finish) is acceptable. Similarly, pre-cast elements can be satisfied by high-density foam or other similar materials in a style-appropriate finish

Craftsman

The Craftsman style was inspired by the English Arts and Crafts Movement of the late 19th century. Of the utmost importance was that all exterior and interior elements received both tasteful and “artful” attention. The movement influenced numerous California architects such as Greene and Greene, and Bernard Maybeck.

The resulting Craftsman style responded with extensive built-in elements and by treating details such as windows or ceilings as if they were furniture. The style was further characterized by the rustic texture of building materials, broad overhangs with exposed rafter tails at the eaves and trellises over the porches. The overall affect was the creation of a natural, warm and livable home. In Southern California, the Craftsman style spun out of bungalows that were the production home of the time.

ELEMENT	MENU OF COMMON FEATURES
Form	<ul style="list-style-type: none"> • Simple 2-story boxed massing with vertical and horizontal breaks
Roof	<ul style="list-style-type: none"> • 4:12 to 6:12 roof pitch • 16” to 24” overhangs • Concrete tile (slate or shake) • Basic gabled roof - side to side with cross gables
Walls	<ul style="list-style-type: none"> • Stucco with horizontal siding accents. • Board and Batten accents also permitted. • Stone base accents on walls and/or porch.
Windows	<ul style="list-style-type: none"> • Vertical window with window grids at front elevation • Windows with grids on side and rear elevations in high visibility public view areas • Use windows individually or in groups
Details	<ul style="list-style-type: none"> • Porches with heavy square columns or posts on stone or brick piers • Surface mounted fixtures on front elevations must complement architectural style • Garage and front door patterns to complement style • Stone and brick base accents • Open eave overhangs with shaped roof rafter tails • Wood trim at doors and windows • Triangulated knee braces
Colors	<p>Field: Light to dark earth tones Trim: Light to dark earth tones in harmony or contrasting with field Accents: Light to dark earth tones in contrast with field</p>

Where “wood” is referred to, it can also be interpreted as simulated wood. In addition, some styles can be appropriately expressed without the wood elements, in which case stucco-wrapped, high-density foam trim (with style-appropriate stucco finish) is acceptable. Similarly, pre-cast elements can be satisfied by high-density foam or other similar materials in a style-appropriate finish



PLAN 2.2068 | D - TUSCAN

PLAN 3.2311 | A - SPANISH

PLAN 1.1968 | B - TRADITIONAL

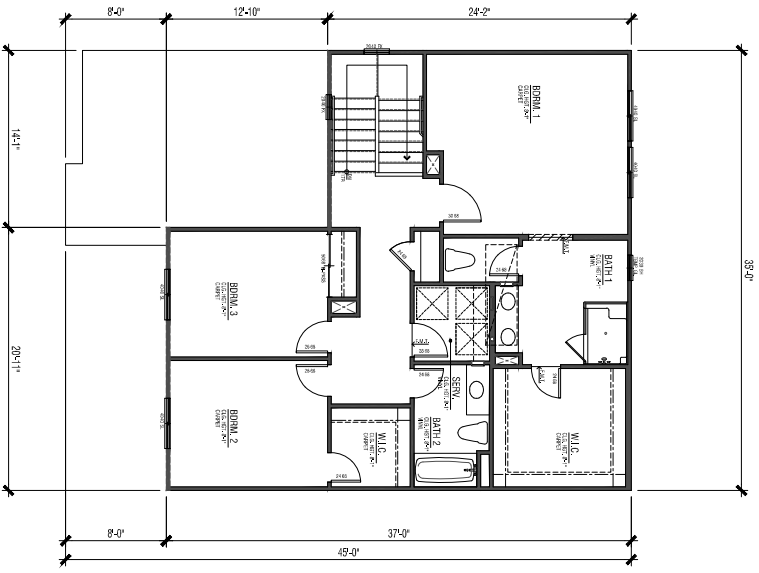
Note: Artist's Conception; Colors, Materials And Application May Vary.

VANTAGE AT SUNSET CROSSINGS

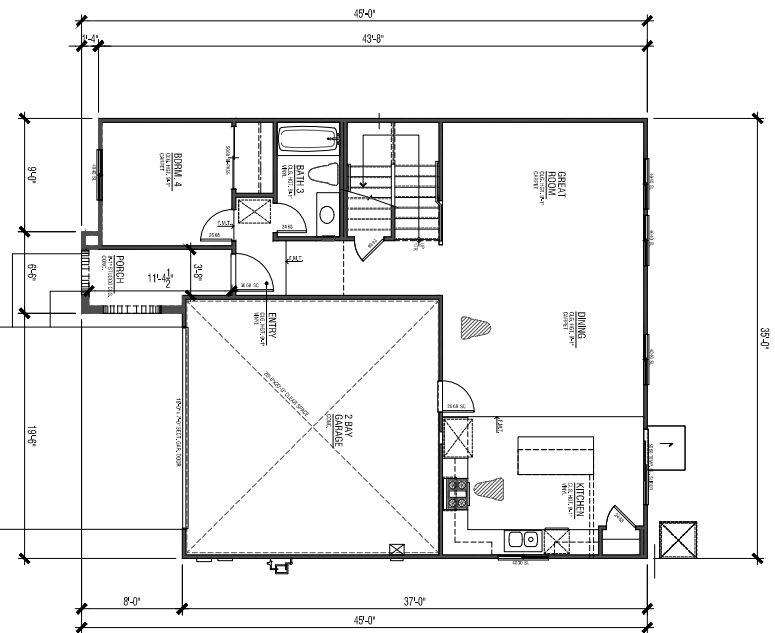
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PUD SUBMITTAL



Upper Floor - 1,041 SF



Lower Floor - 928 SF

PLAN 1.1968

- 1,968 SF
- 4 Bdrm | 3 Bath
- 2 Bay Garage
- 8' | 9' Plates

1A | Spanish

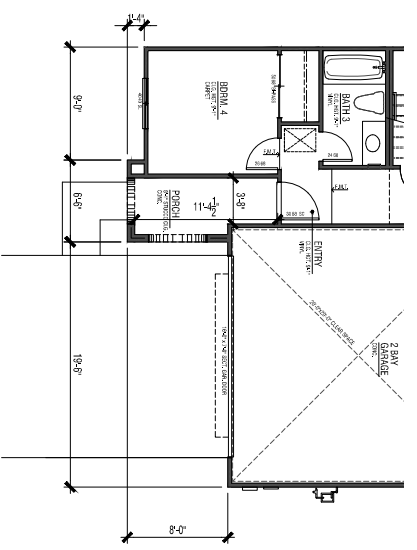
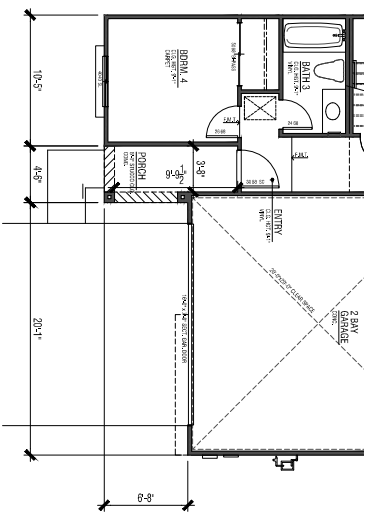
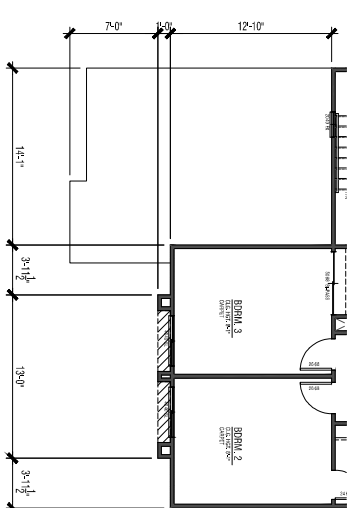
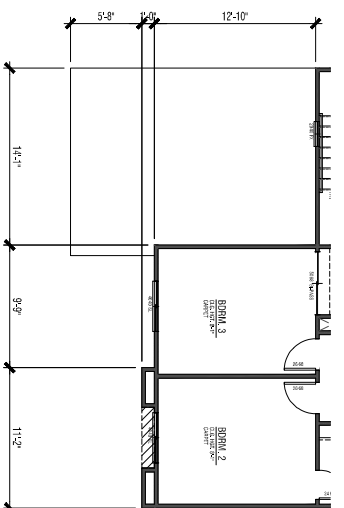
VANTAGE AT SUNSET CROSSINGS

MORENO VALLEY, CA

0 2 4 8
1.0

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PLAN 1.1968

1,968 SF

- 4 Bdrm | 3 Bath
- 2 Bay Garage
- 8' | 9' Plates

1B | Traditional

1D | Tuscan

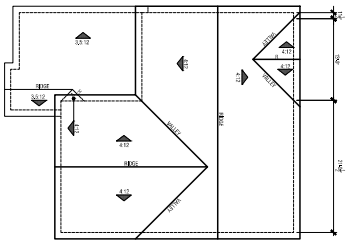
VANTAGE AT SUNSET CROSSINGS

MORENO VALLEY, CA

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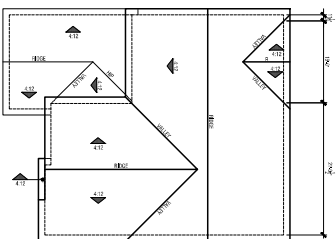
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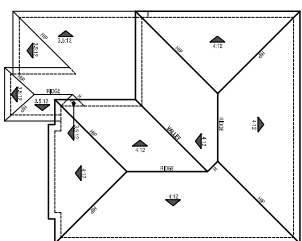
1A | Spanish

Eave 12" / Rake 12"
Concrete Low "S" Tile



1B | Traditional

Eave 12" / Rake 12"
Concrete Flat Tile



1D | Tuscan

Eave 18" / Rake 12"
Concrete Low "S" Tile

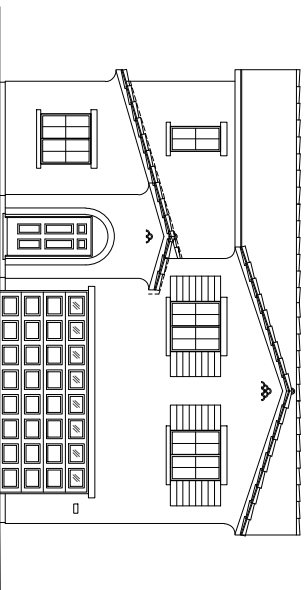
PLAN 1.1968
Roof Plans

VANTAGE AT SUNSET CROSSINGS

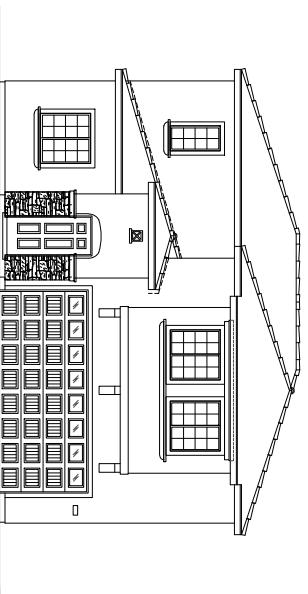
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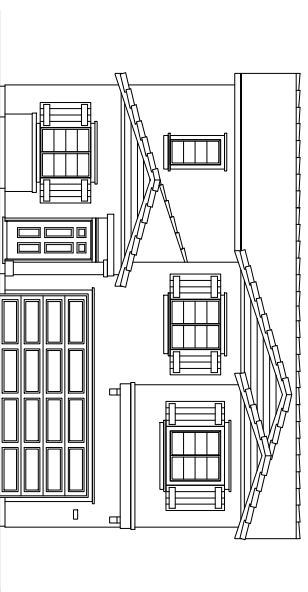
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1A | Spanish



1D | Tuscan



1B | Traditional

PLAN 1.1968

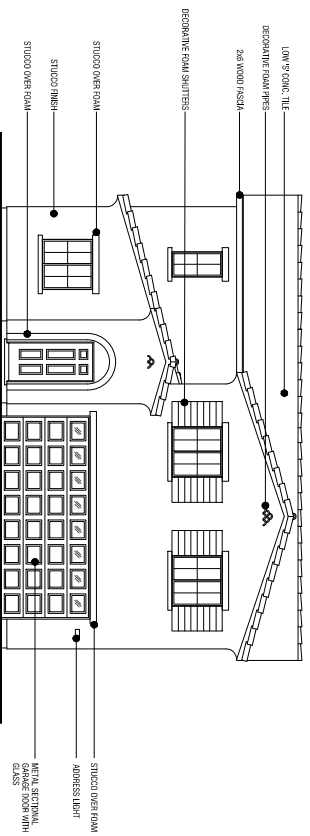
Front Elevations

VANTAGE AT SUNSET CROSSINGS

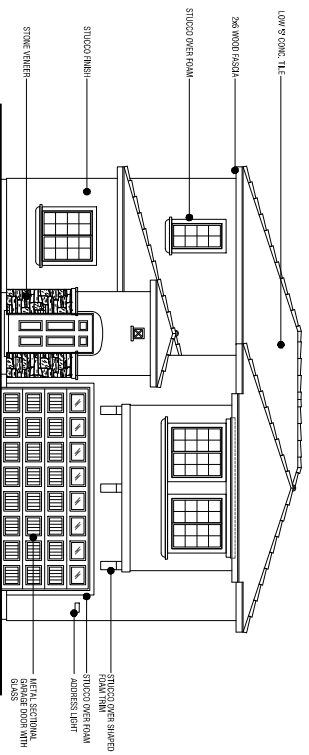
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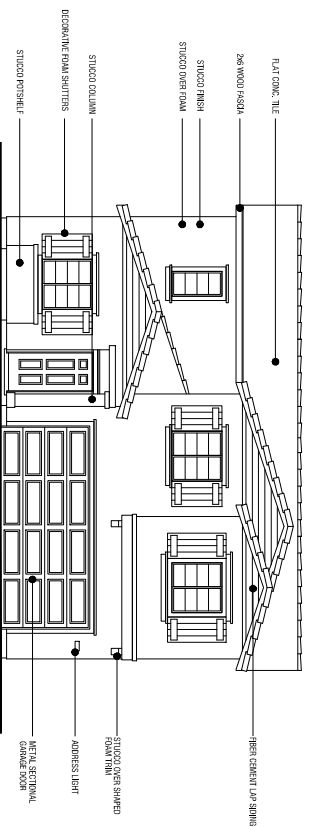
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PUD SUBMITTAL



1A | Spanish



1D | Tuscan



1B | Traditional

PLAN 1.1968
Front Elevations

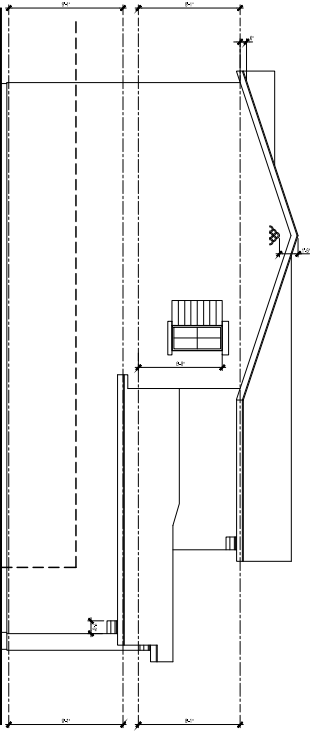
VANTAGE AT SUNSET CROSSINGS

MORENO VALLEY, CA

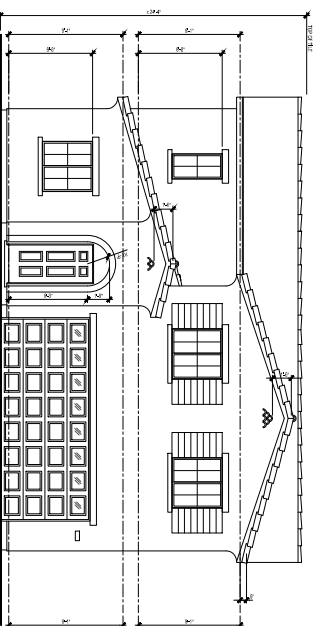
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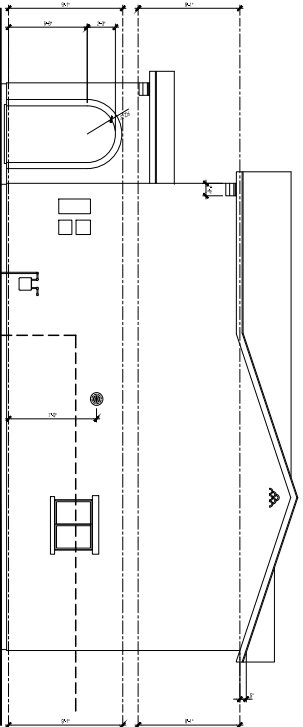




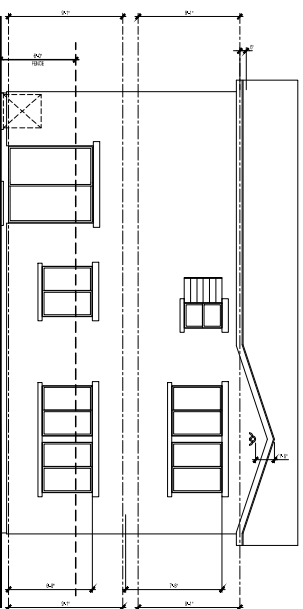
Left



Front



Right



Rear

PLAN 1.1968 | A - SPANISH
Building Elevations

VANTAGE AT SUNSET CROSSINGS

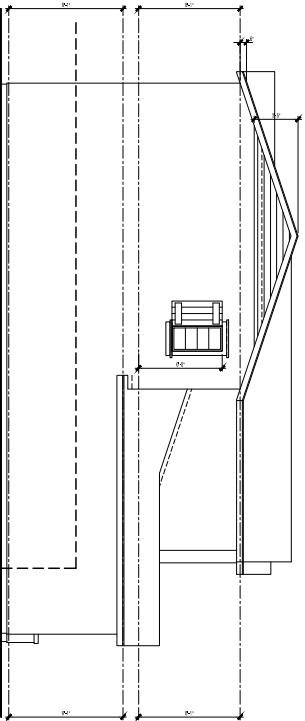
MORENO VALLEY, CA

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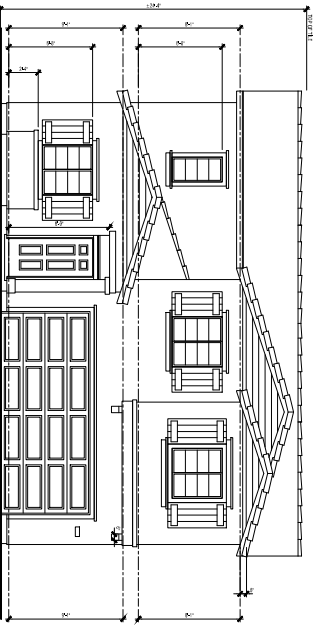
PUD SUBMITTAL

1.4

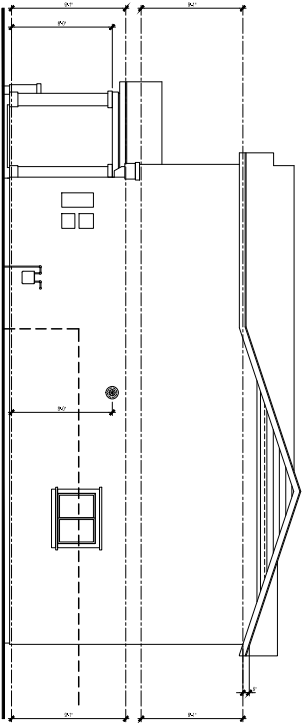




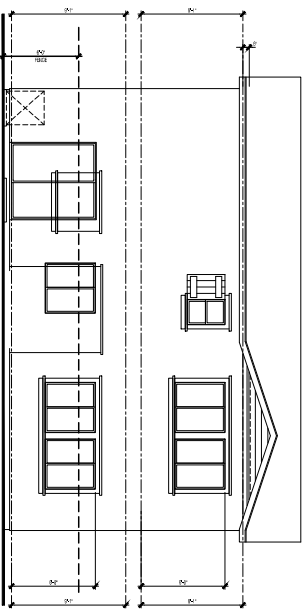
Left



Front



Right



Rear

PLAN 1.1968 | B - TRADITIONAL
Building Elevations

VANTAGE AT SUNSET CROSSINGS

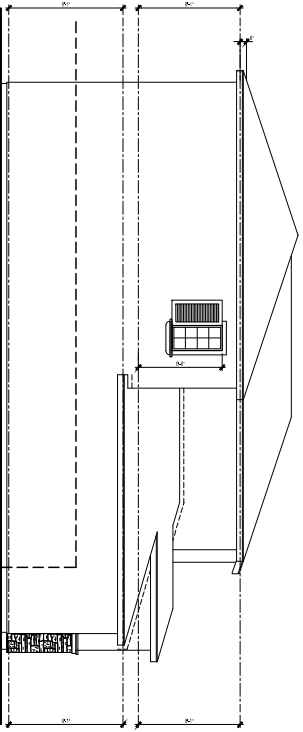
MORENO VALLEY, CA

PUD SUBMITTAL
© 2022 WILLIAM HENNINGSON ARCHITECTS, INC. dba WHA | 2022179 | 07-15-22

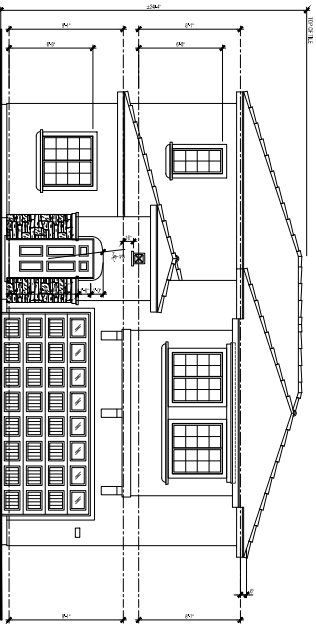


1.5

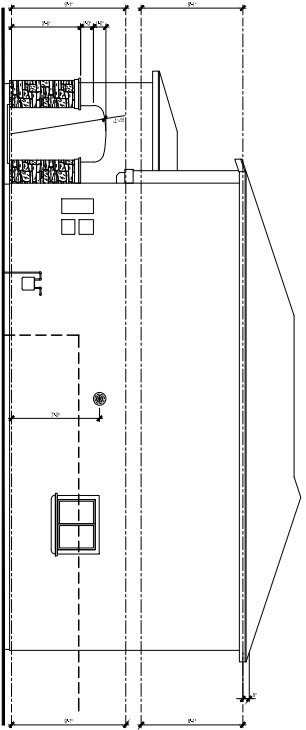
0 2 4 8



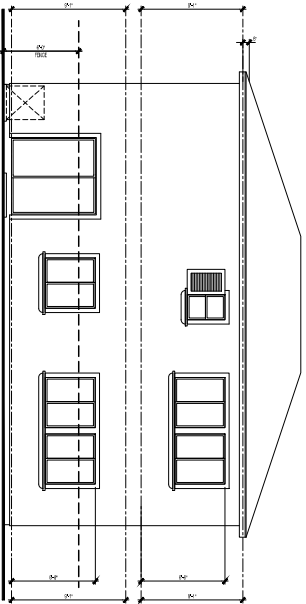
Left



Front



Right



Rear

PLAN 1.1968 | D - TUSCAN
Building Elevations

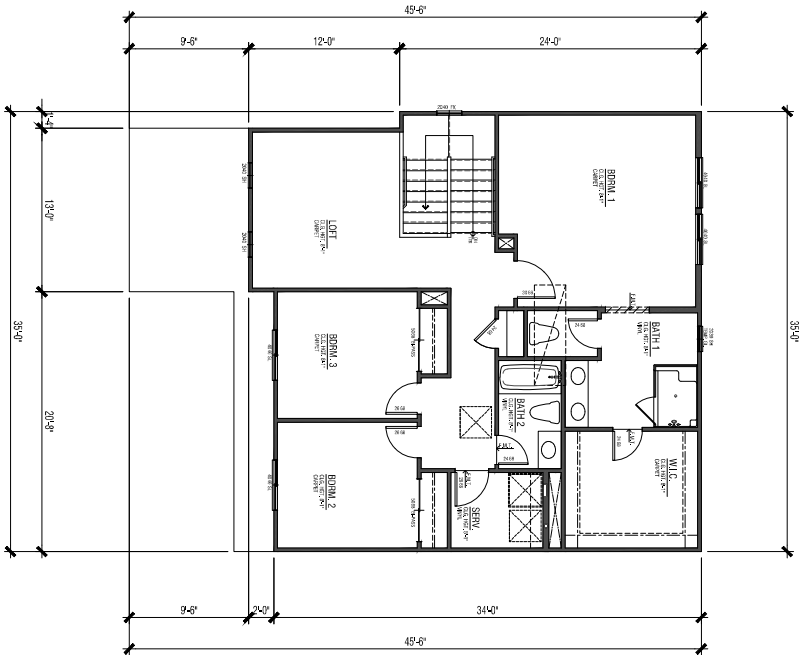
VANTAGE AT SUNSET CROSSINGS

MORENO VALLEY, CA

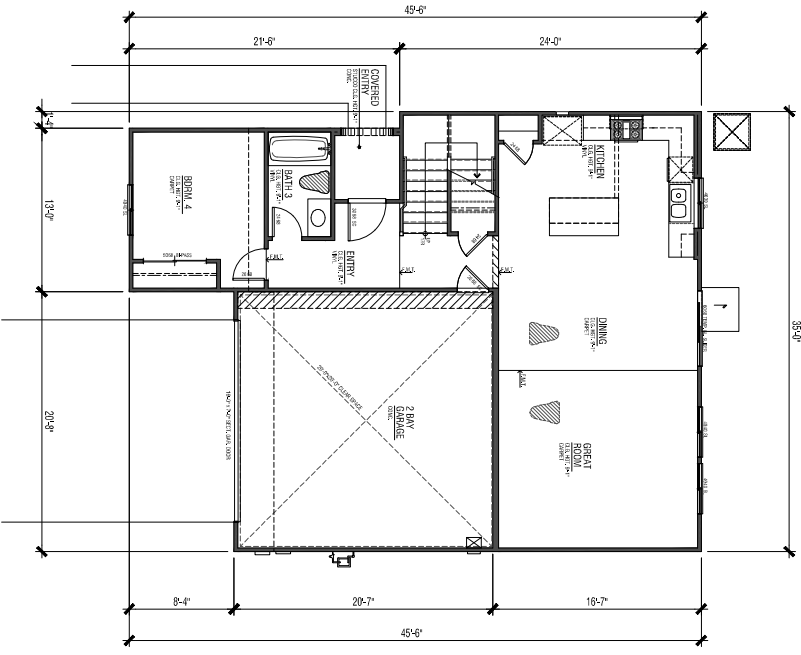
PUD SUBMITTAL
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1.6





Upper Floor - 1,131 SF



Lower Floor - 937 SF

PLAN 2.2068

- 2,068 SF
- 4 Bdrm | 3 Bath | Loft
- 2 Bay Garage
- 8' | 9' Plates

2A | Spanish

VANTAGE AT SUNSET CROSSINGS

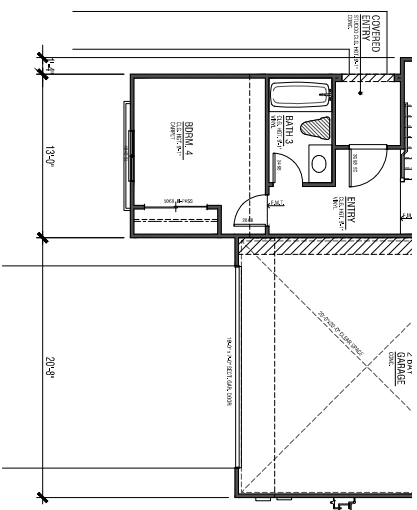
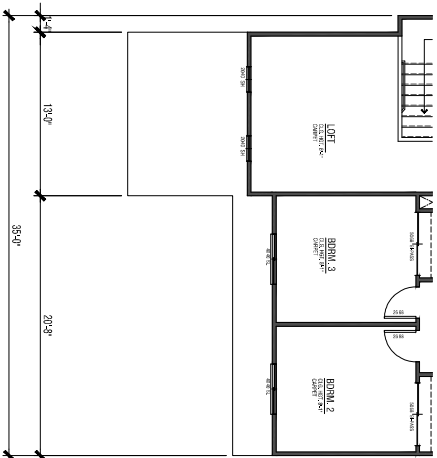
MORENO VALLEY, CA

2.0

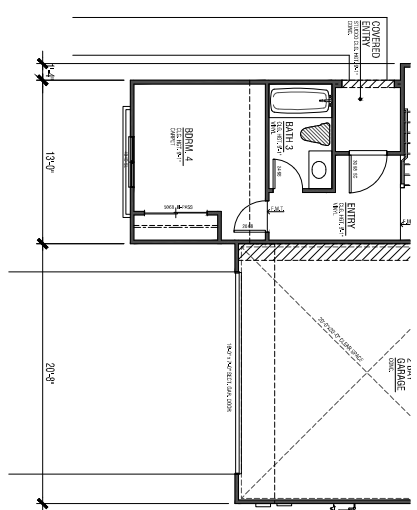
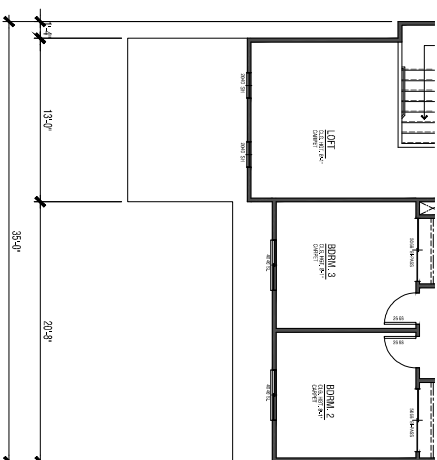
PUD SUBMITTAL

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2B | Traditional



2D | Tuscan

PLAN 2.2068

2,068 SF

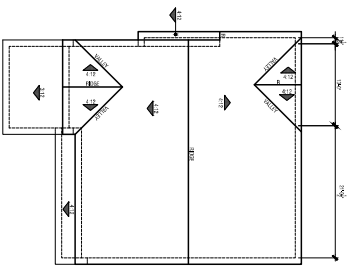
- 4 Bdrm | 3 Bath | Loft
- 2 Bay Garage
- 8' | 9' Plates

VANTAGE AT SUNSET CROSSINGS

MORENO VALLEY, CA

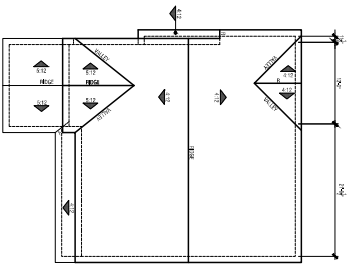
0 2 4 8
2.1

PUD SUBMITTAL
© 2022 MILANI HERMANZULICH ARCHITECTS, INC. DA/WHK | 2022.179 | 07-15-22



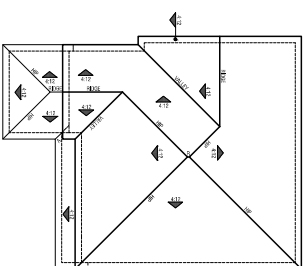
2A | Spanish

Eave 12" / Rake 12"
Concrete Low "S" Tile



2B | Traditional

Eave 12" / Rake 12"
Concrete Flat Tile



2D | Tuscan

Eave 18" / Rake 12"
Concrete Low "S" Tile

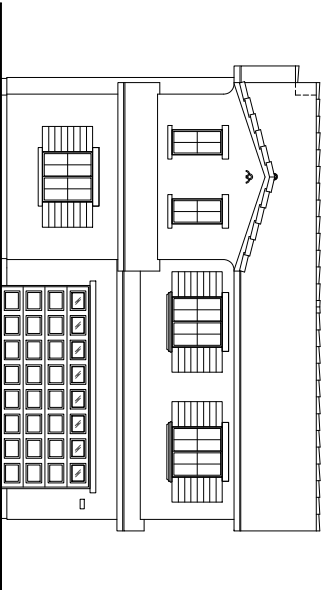
PLAN 2.2068
Roof Plans

VANTAGE AT SUNSET CROSSINGS

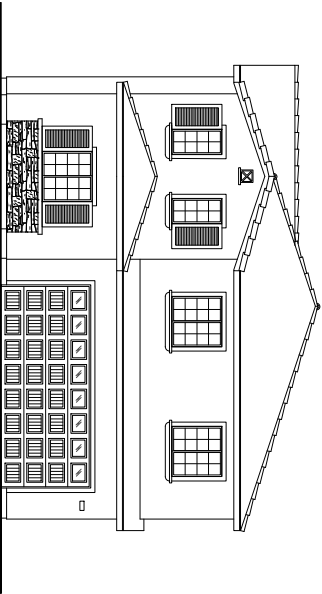
MORENO VALLEY, CA

2.2

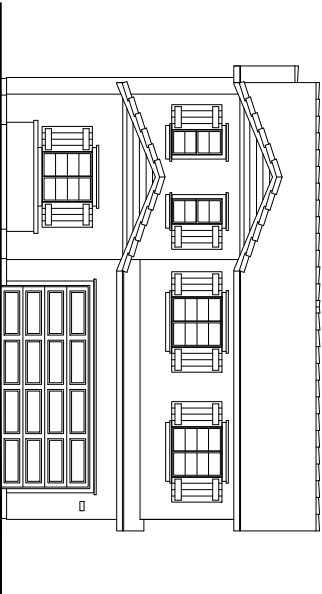
PUD SUBMITTAL
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2A | Spanish



2D | Tuscan



2B | Traditional

PLAN 2.2068
Front Elevations

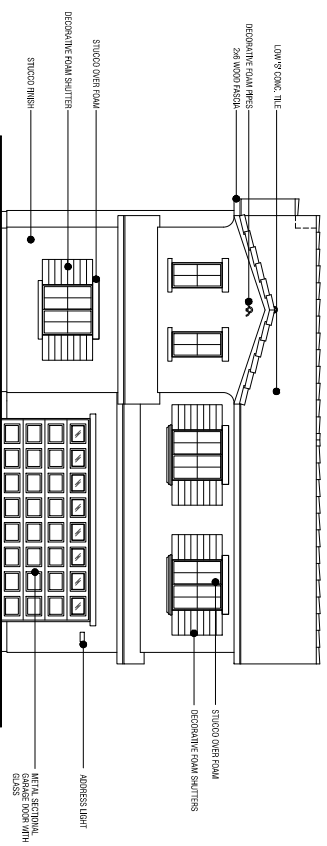
VANTAGE AT SUNSET CROSSINGS

MORENO VALLEY, CA

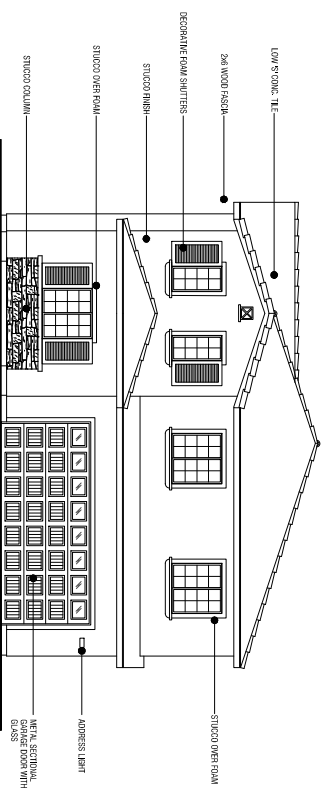
2.3
0 2 4 8

PUD SUBMITTAL
© 2022 MILANI HERMANSON ARCHITECTS, INC. dba WHA | 2022179 | 07-15-22

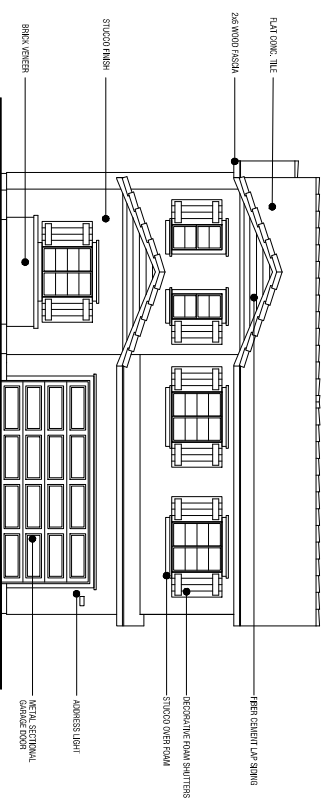




2A | Spanish



2D | Tuscan



2B | Traditional

PLAN 2.2068
Front Elevations

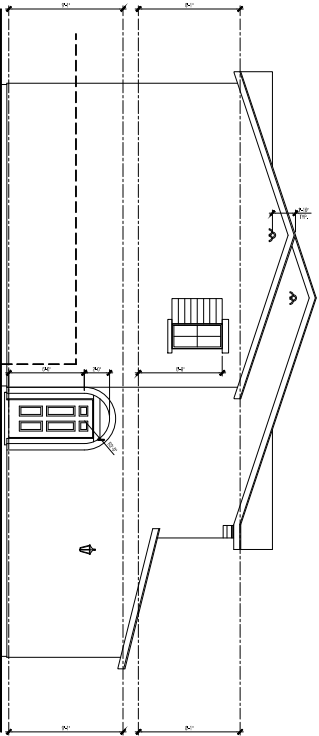
VANTAGE AT SUNSET CROSSINGS

MORENO VALLEY, CA

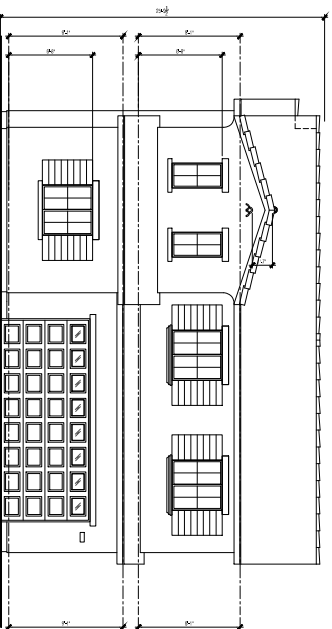
2.3
0 2 4 8

PUD SUBMITTAL
© 2022 MILANI HERMANDEZ ARCHITECTS, INC. DA WVA | 2022179 | 07-15-22

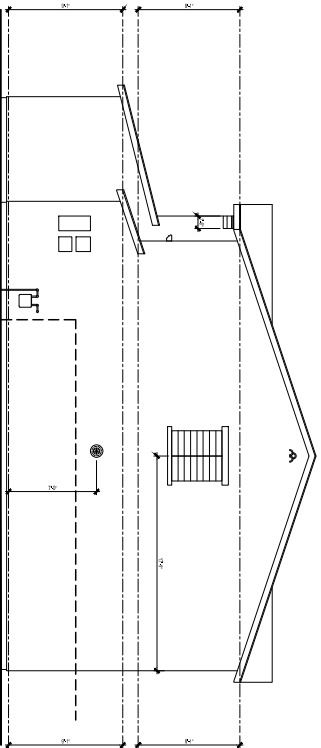




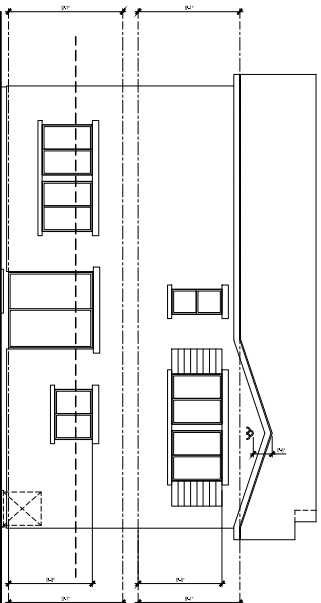
Left



Front



Right



Rear

PLAN 2.2068 | A - SPANISH
Building Elevations

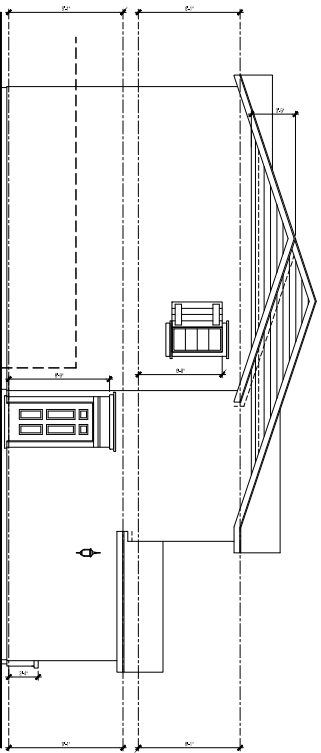
VANTAGE AT SUNSET CROSSINGS

MORENO VALLEY, CA

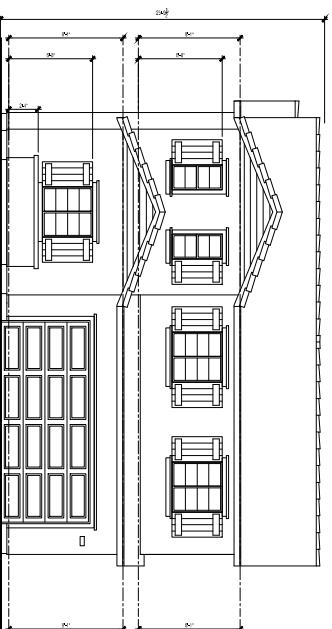
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PUD SUBMITTAL

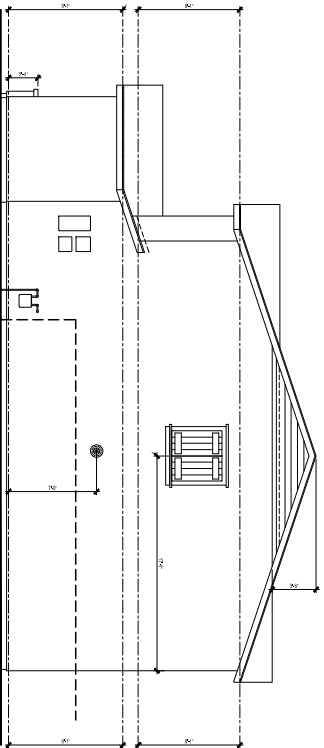
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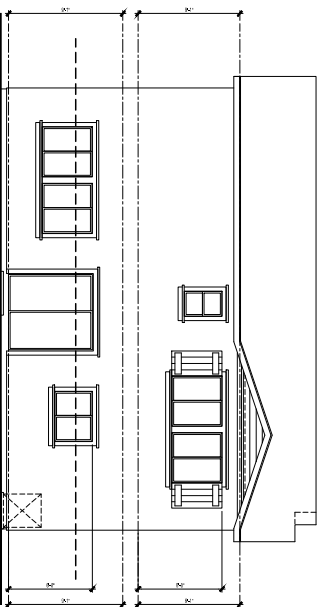
Left



Front



Right



Rear

PLAN 2.2068 | B - TRADITIONAL
Building Elevations

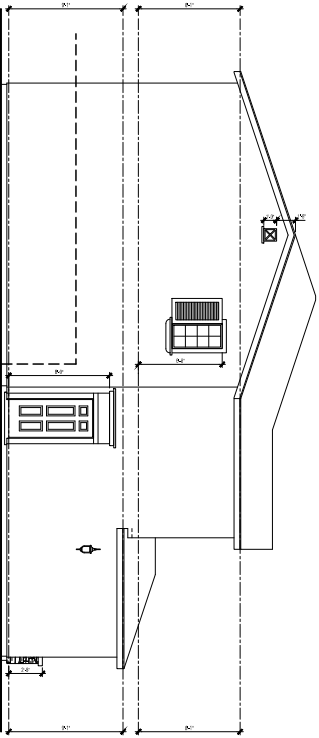
VANTAGE AT SUNSET CROSSINGS

MORENO VALLEY, CA

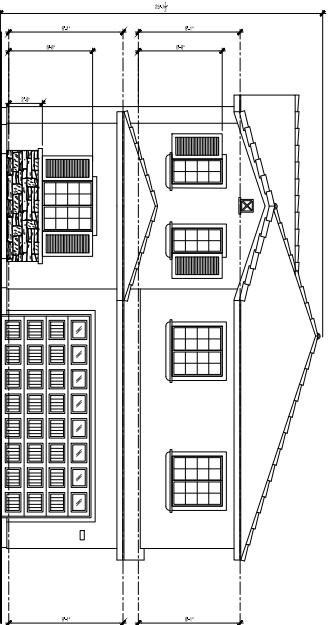
2.5
0 2 4 8

PUD SUBMITTAL

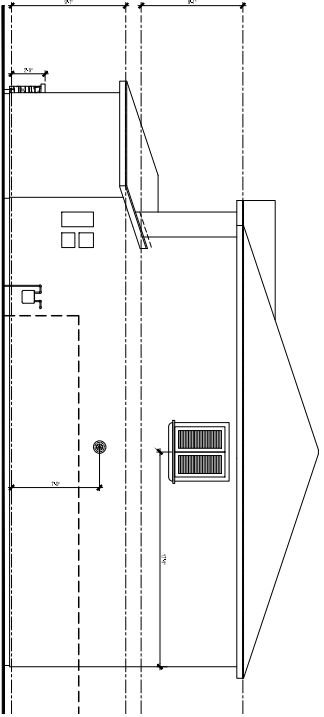
© 2022 WILLIAM HERMANN/DAVID ROBERTS, INC. DA/WHK | 2022179 | 07-15-22



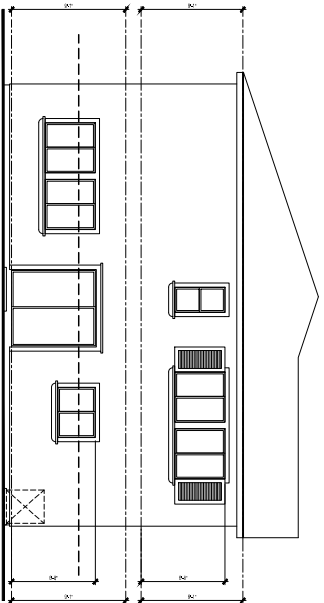
Left



Front



Right



Rear

PLAN 2.2068 | D - TUSCAN
Building Elevations

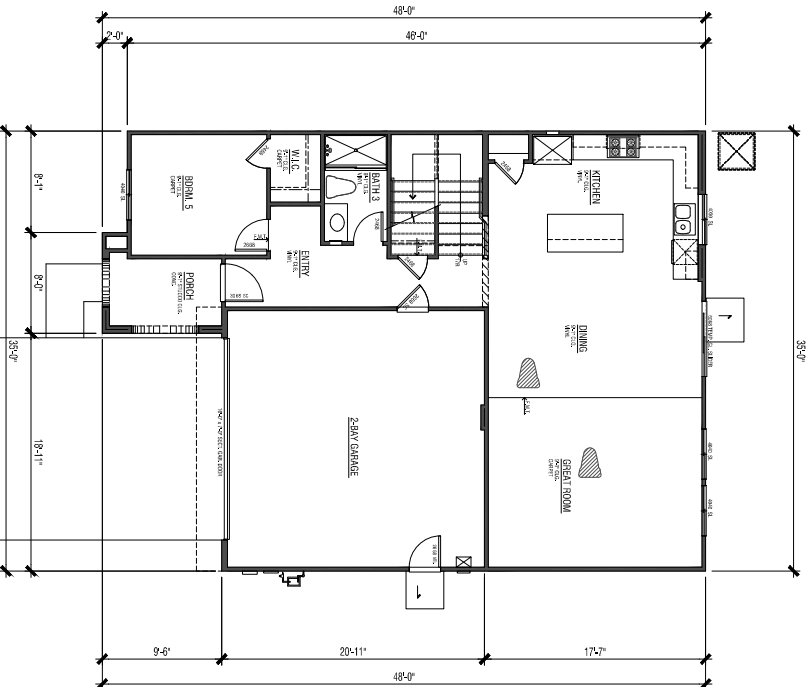
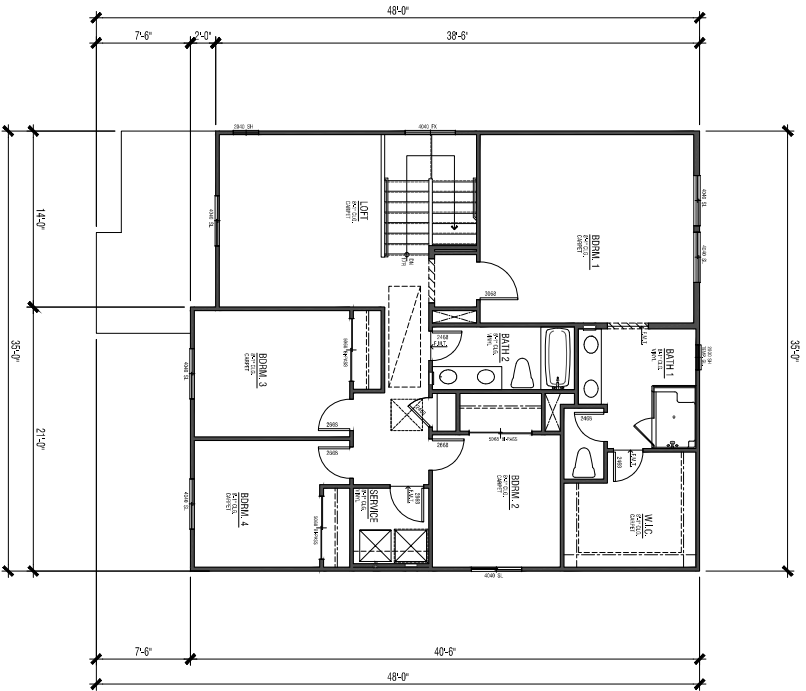
VANTAGE AT SUNSET CROSSINGS

MORENO VALLEY, CA

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PUD SUBMITTAL

2.6



PLAN 3.2311

2,311 SF
5 Bdrm | 3 Ba | Loft
2 Bay Garage
8' | 8' Plates

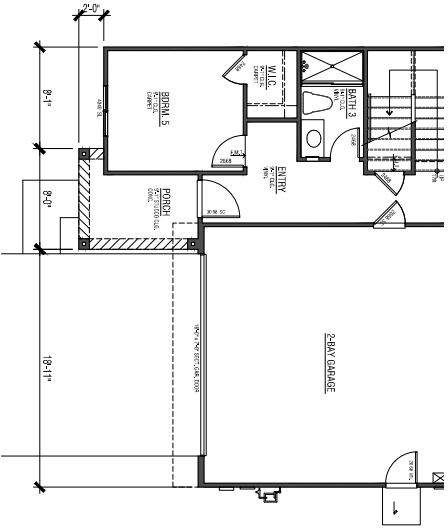
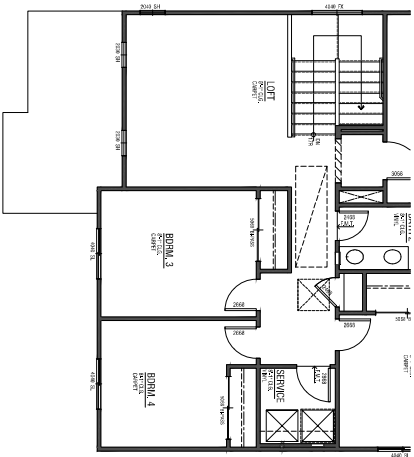
3A | Spanish

VANTAGE AT SUNSET CROSSINGS

MORENO VALLEY, CA

PUD SUBMITTAL
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0 2 4 8
3.0



PLAN 3.2311

2,311 SF
 5 Bdrm | 3 Ba | Loft
 2 Bay Garage
 8' | 8' Plates

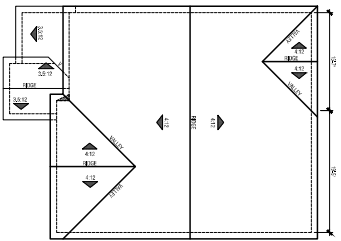
3B | Traditional

3D | Tuscan

VANTAGE AT SUNSET CROSSINGS

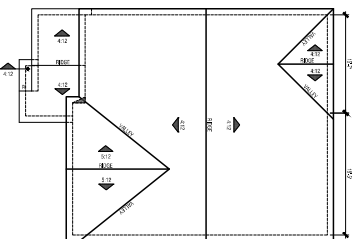
MORENO VALLEY, CA

3.1
 0 2 4 8
 PUD SUBMITTAL
 © 2022 WILLIAM HENNINGHAUGH ARCHITECTS, INC. dba WHA | 2022179 | 07-15-22



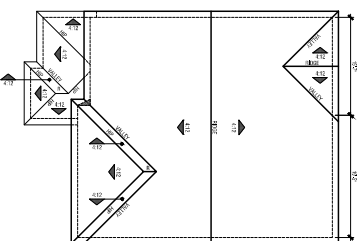
3A | Spanish

Eave 12" / Rake 12"
Concrete "S" Tile



3B | Traditional

Eave 12" / Rake 12"
Concrete Flat Tile



3D | Tuscan

Eave 12" / Rake 12"
Concrete "S" Tile

PLAN 3.2311

Roof Plans

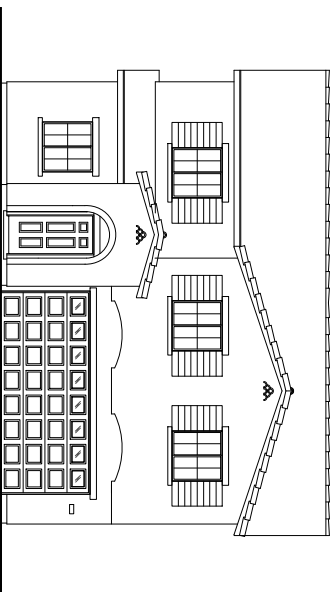
VANTAGE AT SUNSET CROSSINGS

MORENO VALLEY, CA

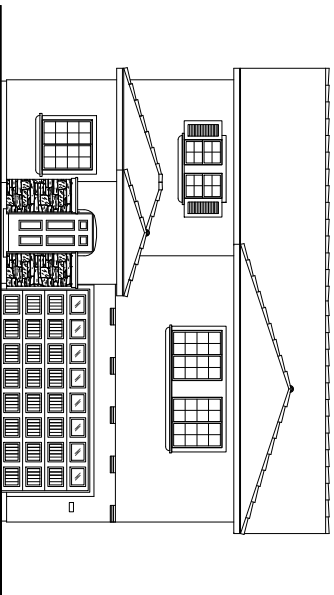
3.2

0 4 8 16

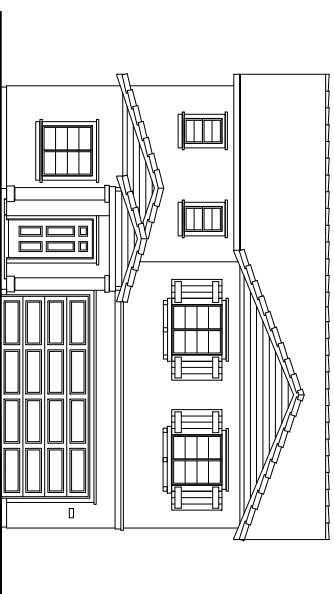
PUD SUBMITTAL
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3A | Spanish



3D | Tuscan



3B | Traditional

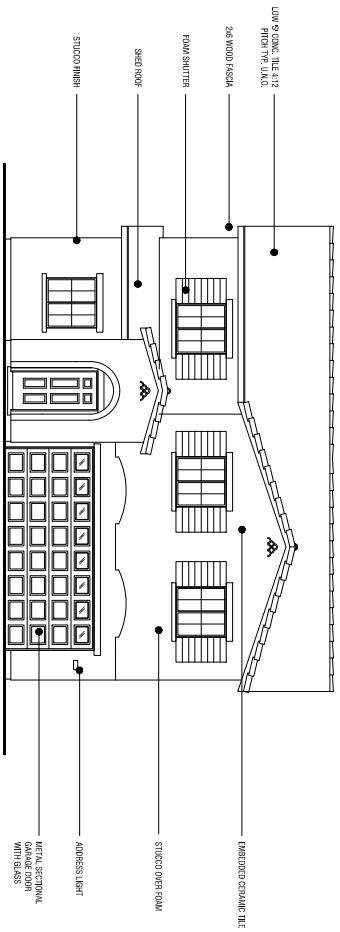
PLAN 3.2311
Front Elevations

VANTAGE AT SUNSET CROSSINGS

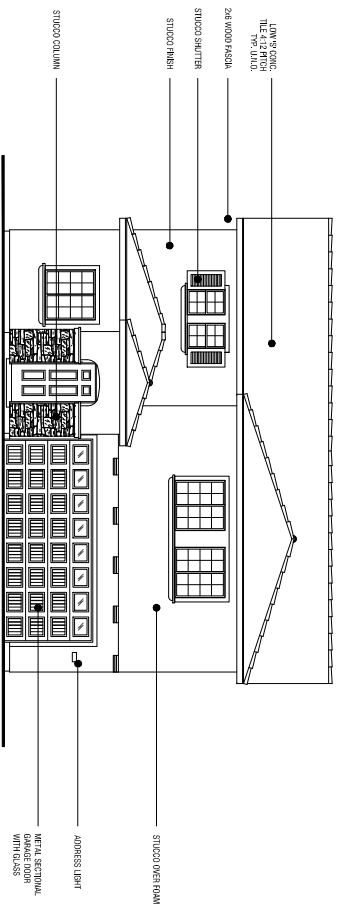
MORENO VALLEY, CA

0 2 4 8
3.3

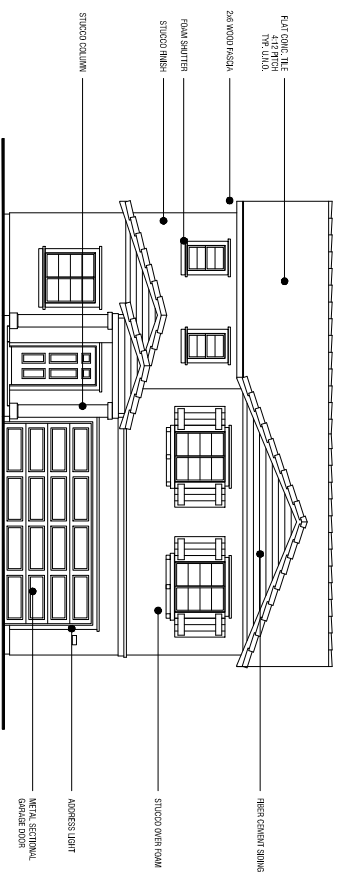
PUD SUBMITTAL
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3A | Spanish



3D | Tuscan



3B | Traditional

PLAN 3.2311
Front Elevations

VANTAGE AT SUNSET CROSSINGS

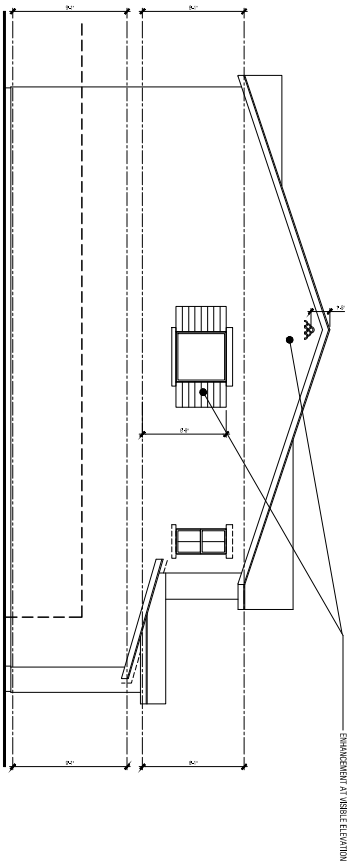
MORENO VALLEY, CA

3.3

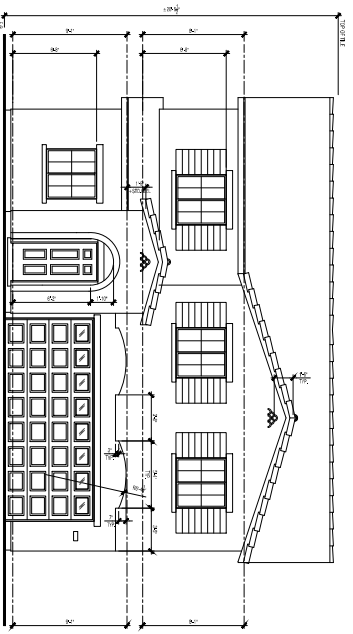
0 2 4 8

PUD SUBMITTAL

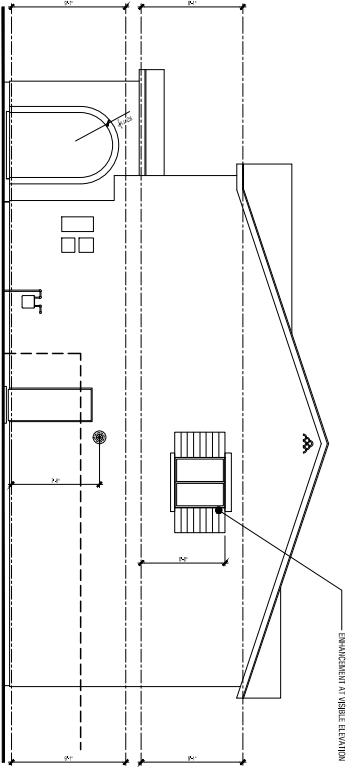
© 2022 MILANI HERMANZON ARCHITECTS, INC. DA WVA | 2022179 | 07-15-22



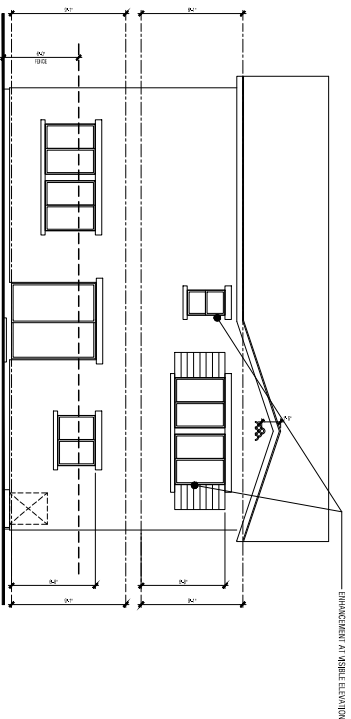
Left



Front



Right



Rear

PLAN 3.2311 | A - SPANISH

Building Elevations

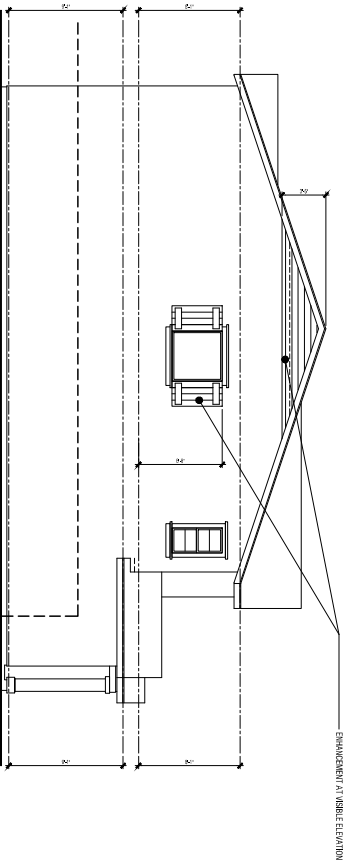
VANTAGE AT SUNSET CROSSINGS

MORENO VALLEY, CA

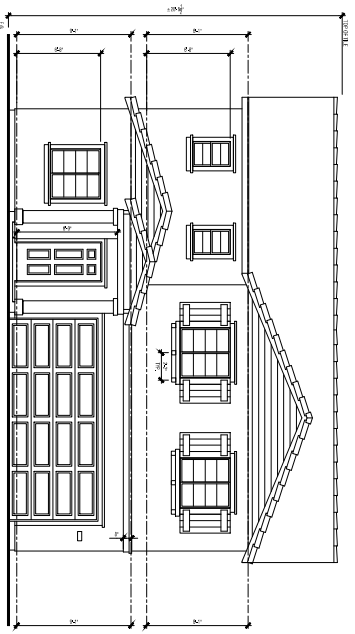
3.4

PUD SUBMITTAL
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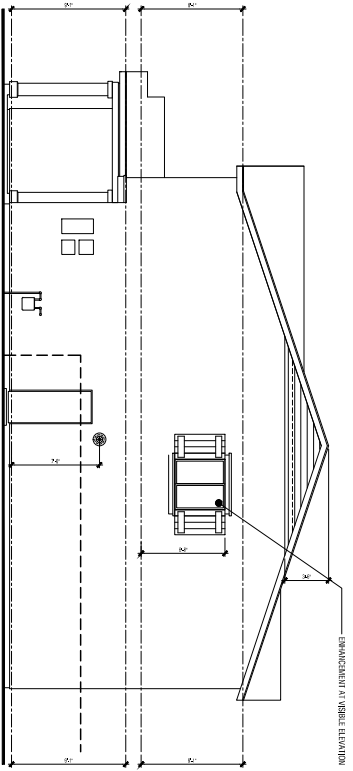




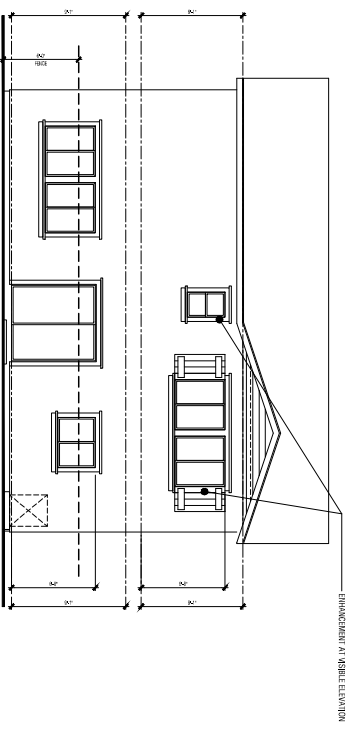
Left



Front



Right



Rear

PLAN 3.2311 | B - TRADITIONAL
Building Elevations

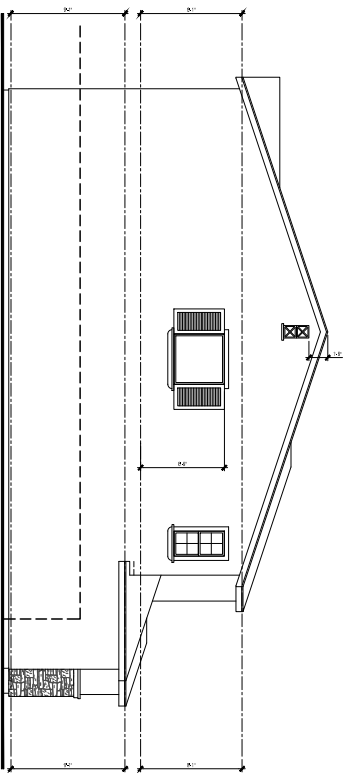
VANTAGE AT SUNSET CROSSINGS

MORENO VALLEY, CA

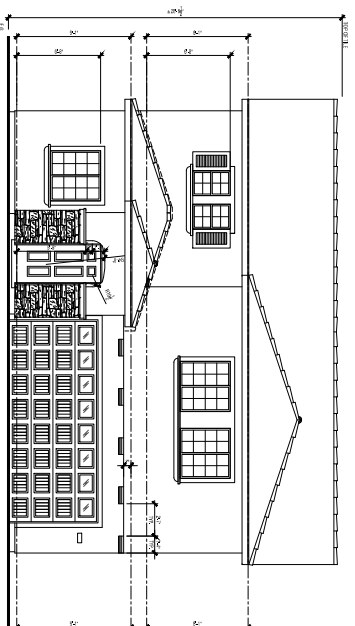
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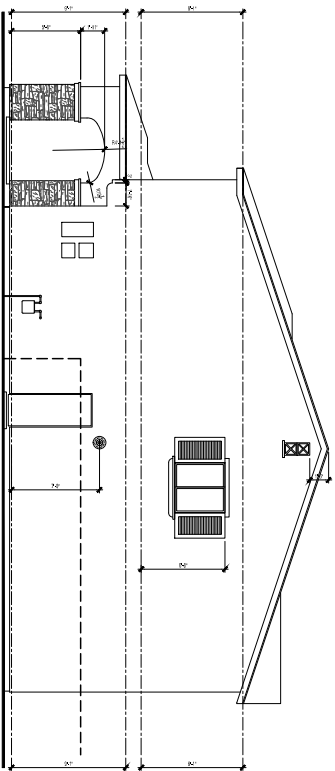




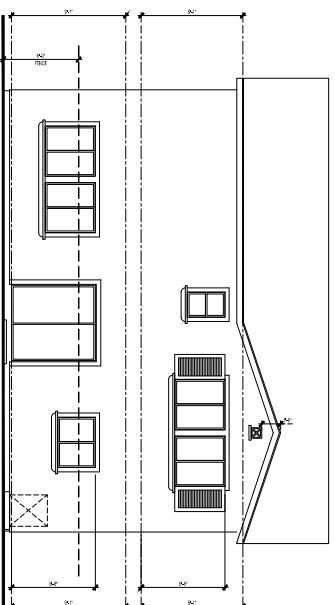
Left



Front



Right



Rear

PLAN 3.2311 | D - TUSCAN
Building Elevations

VANTAGE AT SUNSET CROSSINGS

MORENO VALLEY, CA

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PUD SUBMITTAL

3.6





PLAN 1.1898 | B - TRADITIONAL

PLAN 2.2239 | A - SPANISH

PLAN 3.2537 | C-CRAFTSMAN

PLAN 4.2617 | B - TRADITIONAL



Note: Artist's Conception. Colors, Materials and Application May Vary.

AMBER SKY AT SUMMER CROSSINGS

MORENO VALLEY, CA

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PUD SUBMITTAL



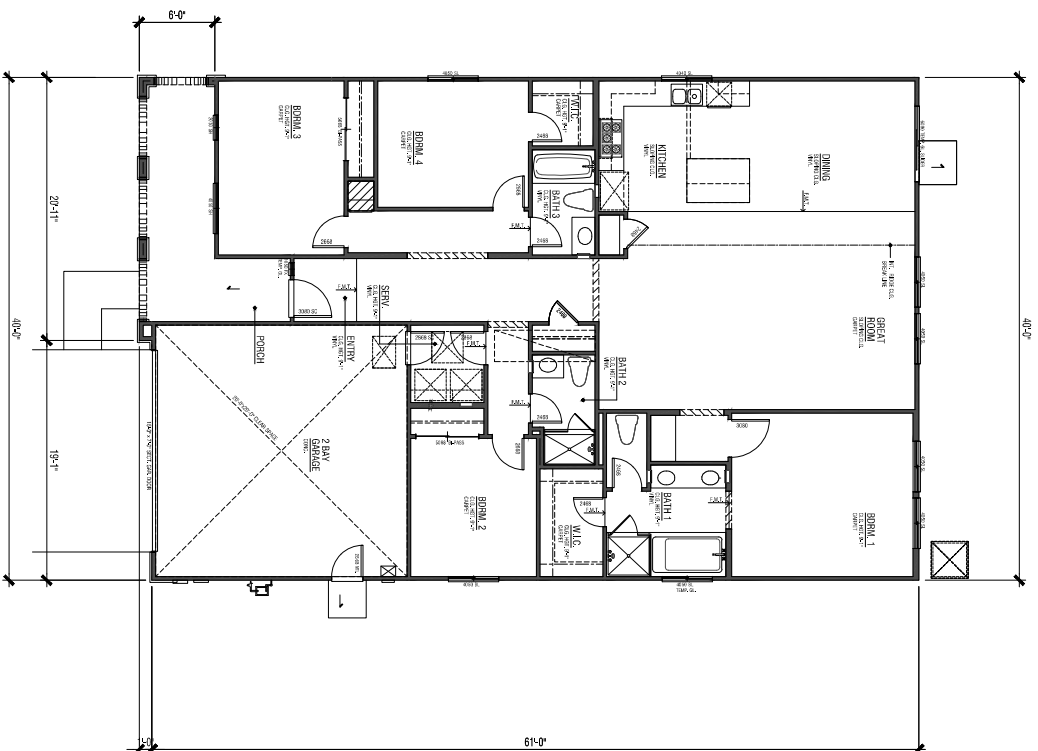
AMBER SKY AT SUMMER CROSSINGS

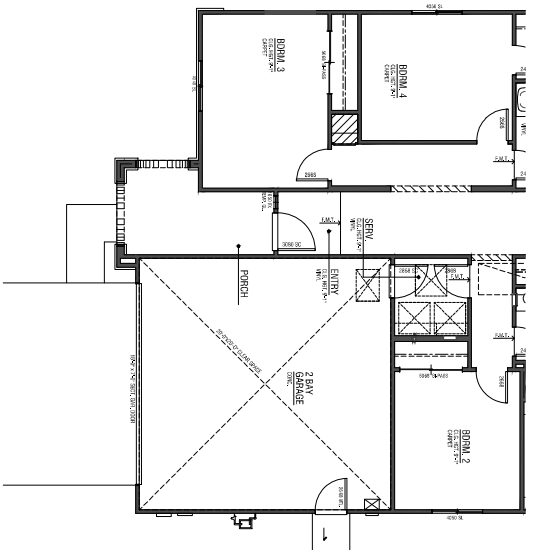
MORENO VALLEY, CA

PLAN 1.1898

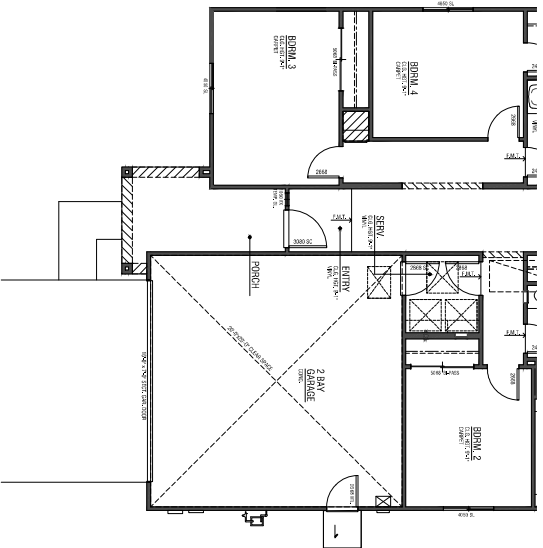
1,898 SF
4 Bdrm | 3 Bath
2 Bay Garage
9' Plate

1A | Spanish

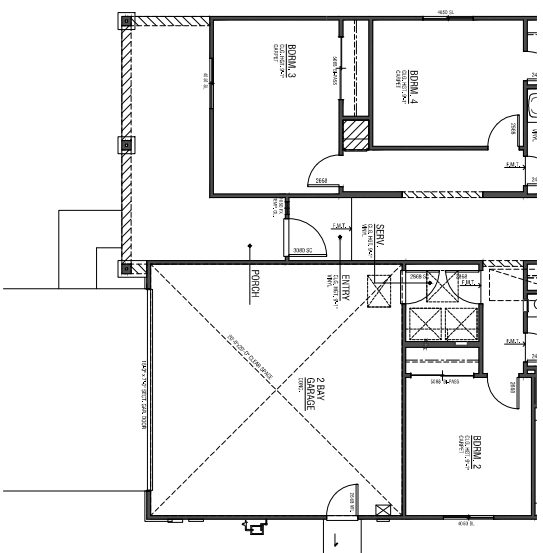




1D | Tuscan



1B | Traditional



1C | Craftsman

PLAN 1.1898

- 1,898 SF
- 4 Bdrm | 3 Bath
- 2 Bay Garage
- 9' Plate

AMBER SKY AT SUMMER CROSSINGS

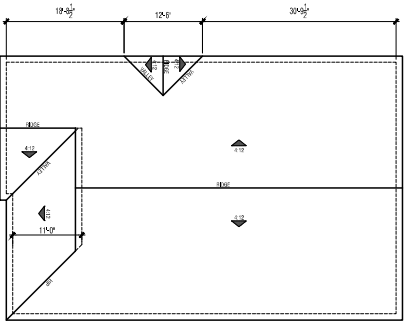
MORENO VALLEY, CA



0 2 4 8
1.1

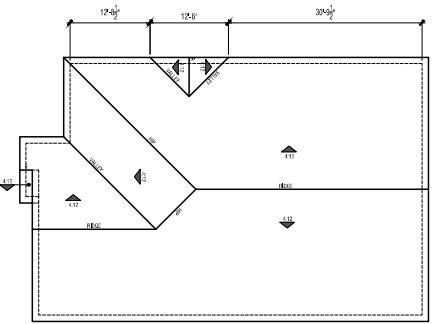
PUD SUBMITTAL
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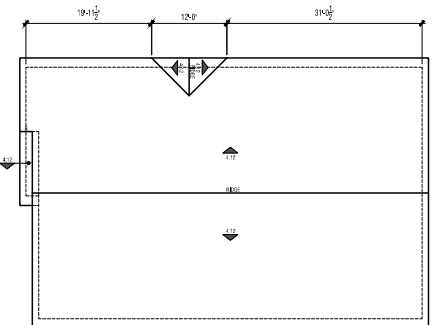
1A | Spanish

Eave 12" / Rake 12"
Concrete Low "S" Tile



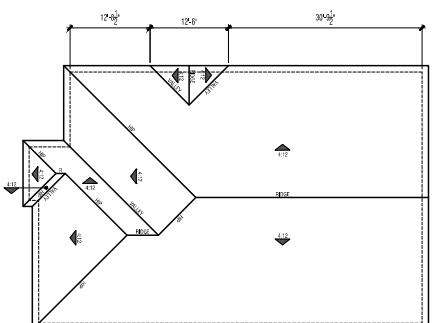
1B | Traditional

Eave 12" / Rake 12"
Concrete Flat Tile



1C | Craftsman

Eave 18" / Rake 12"
Concrete Flat Tile



1D | Tuscan

Eave 12" / Rake 12"
Concrete Low "S" Tile

PLAN 1.1898

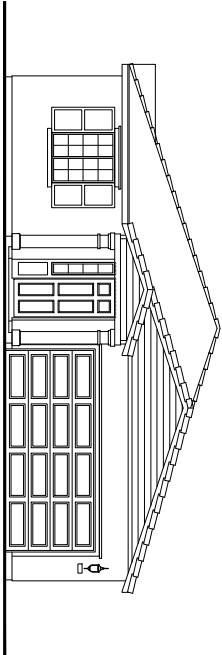
Roof Plans

AMBER SKY AT SUMMER CROSSINGS

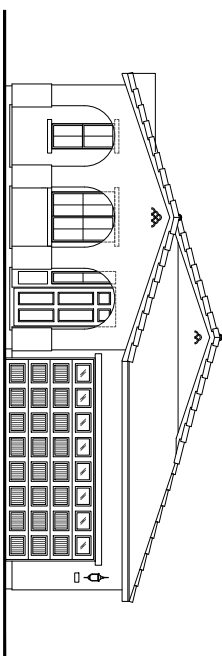
MORENO VALLEY, CA

PUD SUBMITTAL

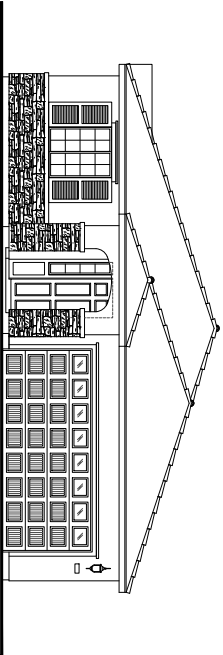




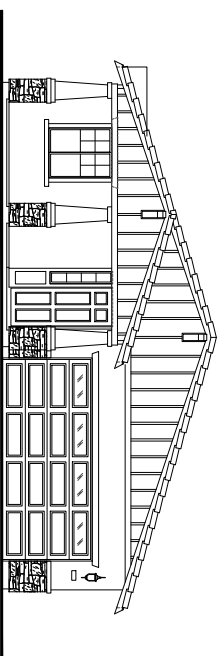
1B | Traditional



1A | Spanish



1D | Tuscan



1C | Craftsman

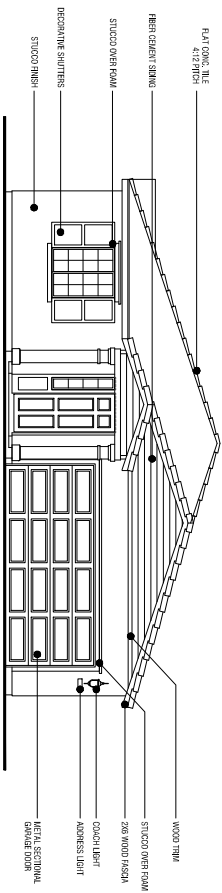
PLAN 1.1898
Front Elevations

AMBER SKY AT SUMMER CROSSINGS

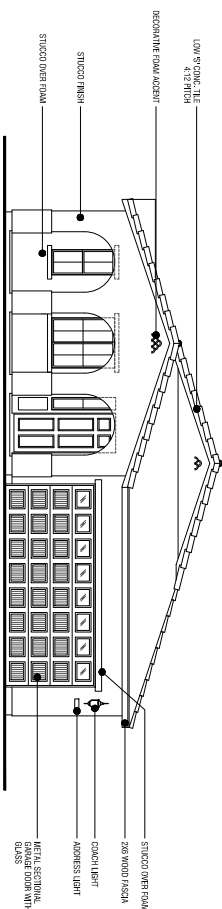
MORENO VALLEY, CA

1.3
0 2 4 8
PUD SUBMITTAL

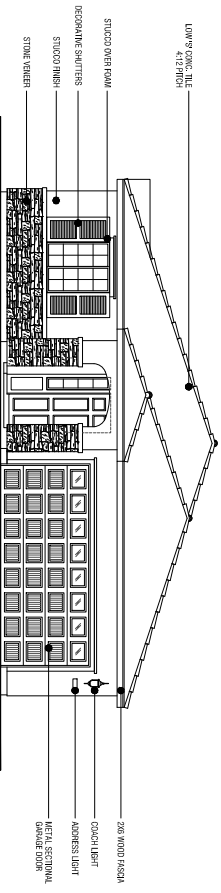




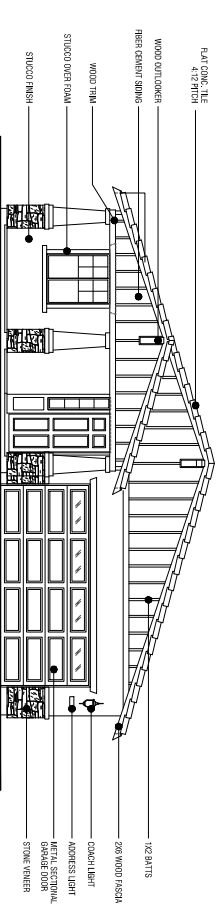
1B | Traditional



1A | Spanish



1D | Tuscan



1C | Craftsman



AMBER SKY AT SUMMER CROSSINGS

PLAN 1.1898

Front Elevations

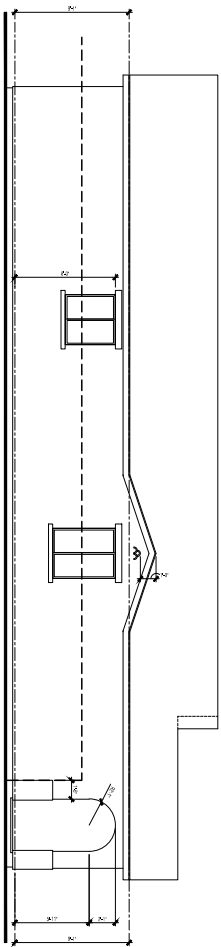
MORENO VALLEY, CA

1.3.1
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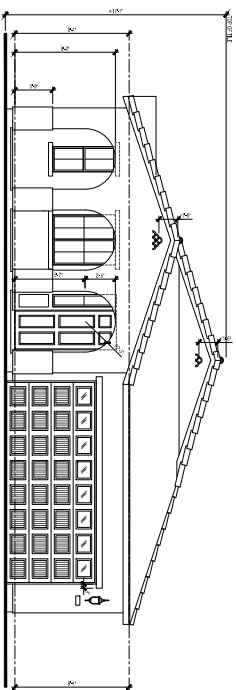
PUD SUBMITTAL

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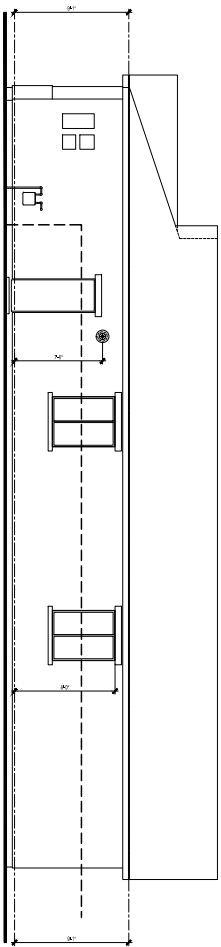




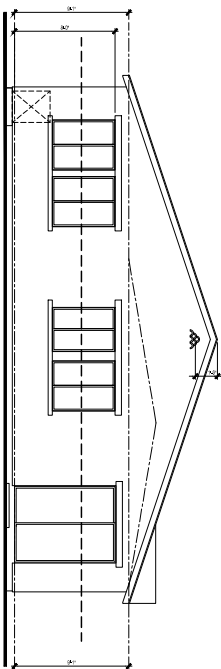
Left



Front



Right



Rear

PLAN 1.1898 | A - SPANISH
Building Elevations

AMBER SKY AT SUMMER CROSSINGS

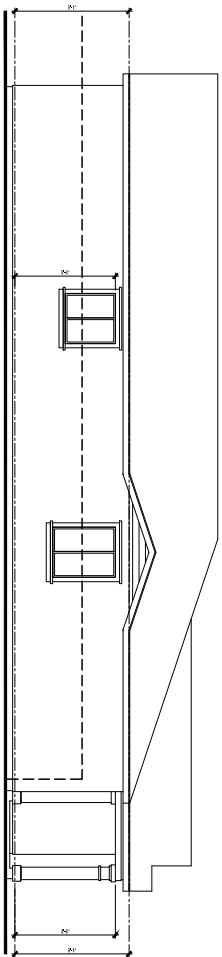
MORENO VALLEY, CA

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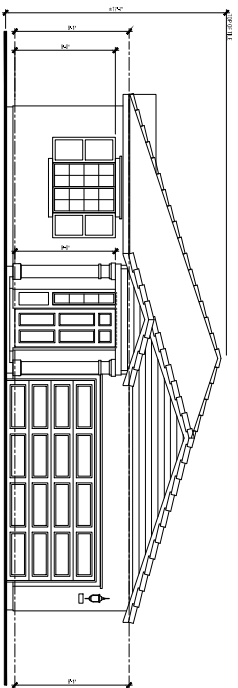
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1.4

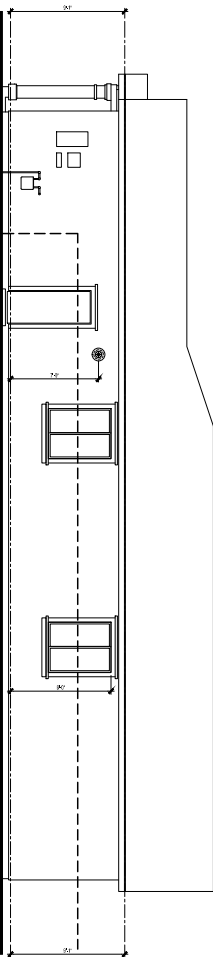




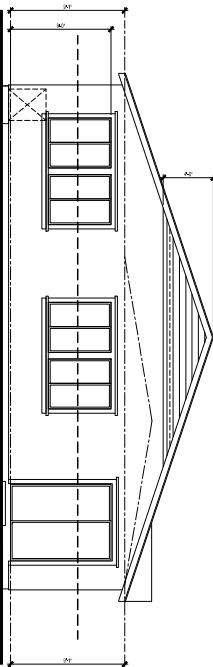
Left



Front



Right



Rear

PLAN 1.1898 | B - TRADITIONAL
Building Elevations

AMBER SKY AT SUMMER CROSSINGS

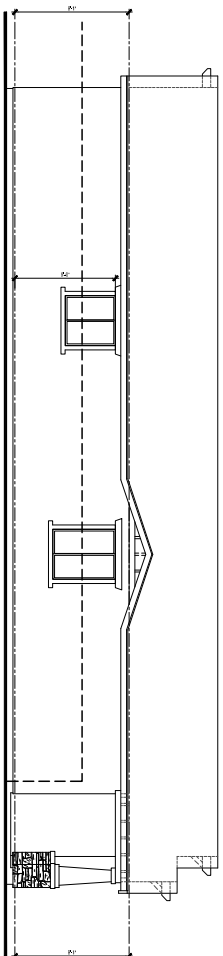
MORENO VALLEY, CA



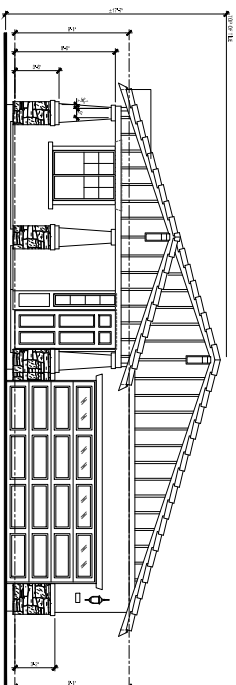
1.5
0 2 4 8

PUD SUBMITTAL
© 2021 WILLIAM HENNINGSON ARCHITECTS, INC. dba WHA | 2022180 | 07-15-22

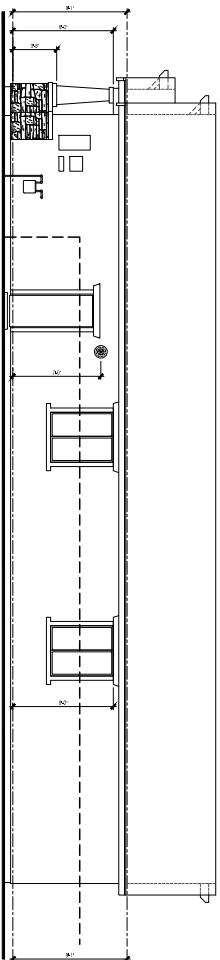




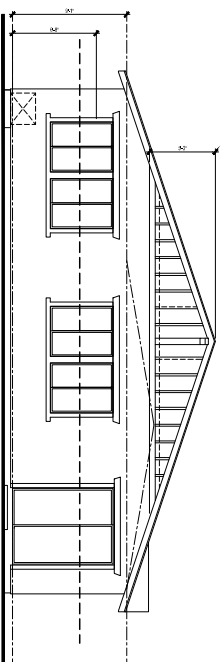
Left



Front



Right



Rear

PLAN 1.1898 | C - CRAFTSMAN
Building Elevations

AMBER SKY AT SUMMER CROSSINGS

MORENO VALLEY, CA

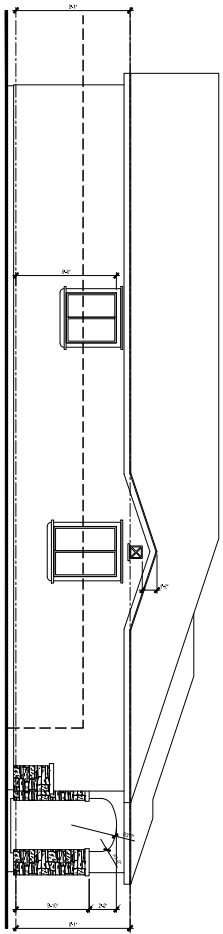
PUD SUBMITTAL

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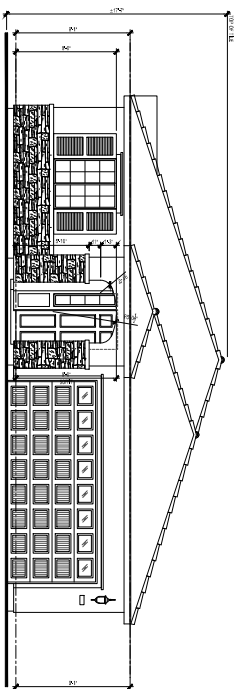


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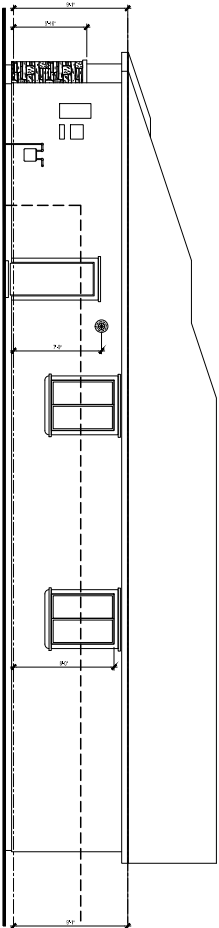
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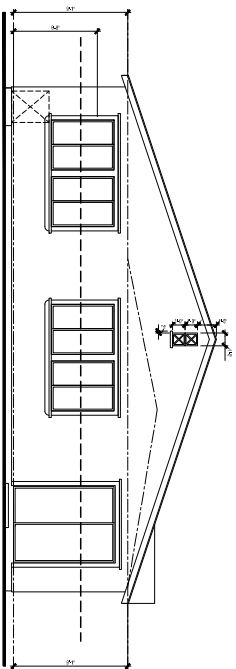
Left



Front



Right



Rear

PLAN 1.1898 | D - TUSCAN
Building Elevations

AMBER SKY AT SUMMER CROSSINGS

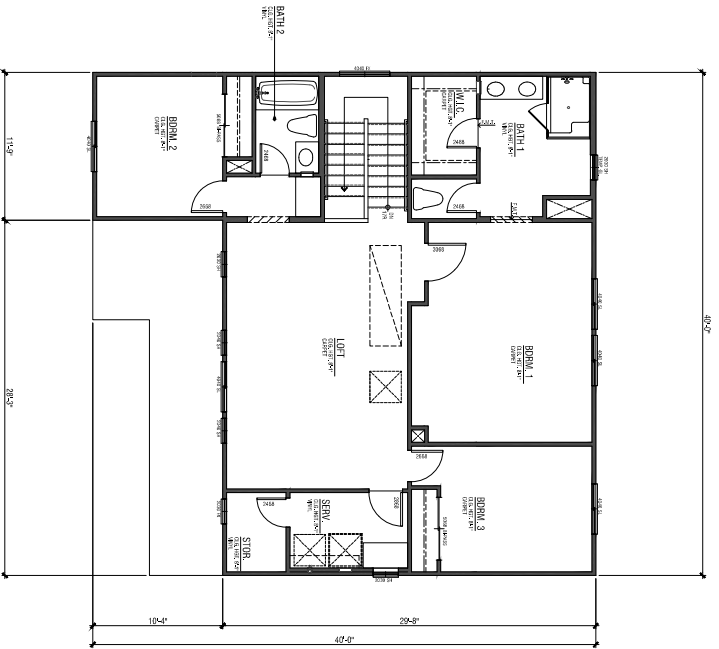
MORENO VALLEY, CA

PUD SUBMITTAL

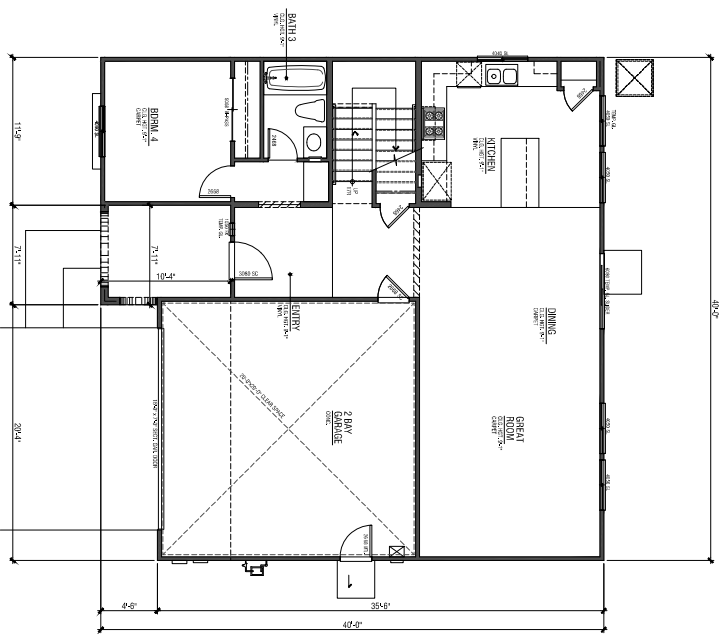
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1.7
0 2 4 8



Upper Floor - 1,234 SF



Lower Floor - 1,005 SF

PLAN 2.2239

- 2,239 SF
- 4 Bdrm | 3 Bath | Loft
- 2 Bay Garage
- 8' | 9' Plates

2A | Spanish

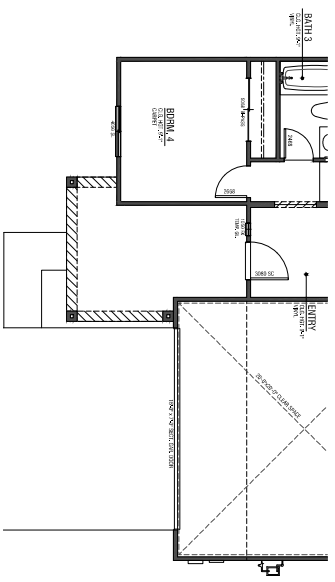
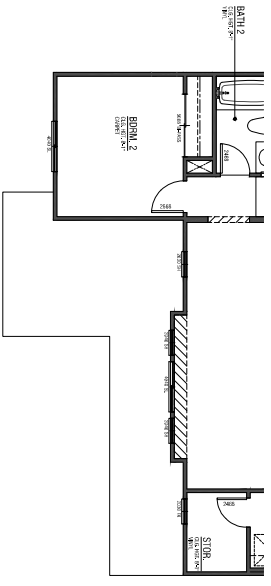
AMBER SKY AT SUMMER CROSSINGS

MORENO VALLEY, CA

2.0
PUD SUBMITTAL

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PLAN 2.2239

2,239 SF
 4 Bdrm | 3 Bath | Loft
 2 Bay Garage
 8' | 9' Plates

2B | Traditional

2C | Craftsman

AMBER SKY AT SUMMER CROSSINGS

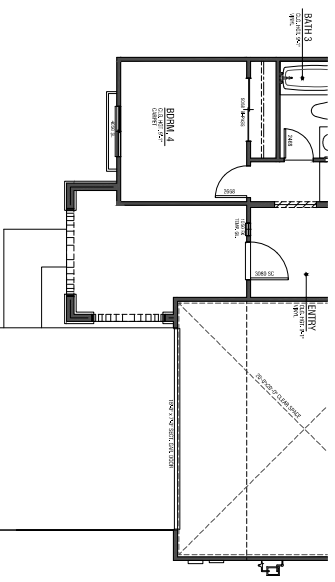
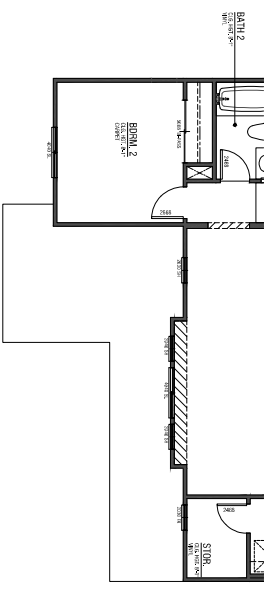
MORENO VALLEY, CA



2.1
 0 2 4 8

PUD SUBMITTAL
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PLAN 2.2239

2,239 SF
 4 Bdrm | 3 Bath | Loft
 2 Bay Garage
 8' | 9' Plates

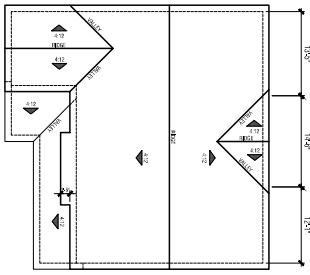
2D | Tuscan

AMBER SKY AT SUMMER CROSSINGS

MORENO VALLEY, CA

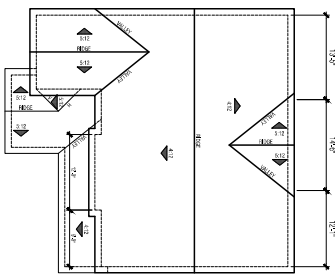
2.1.1
 PUD SUBMITTAL
 0 2 4 8





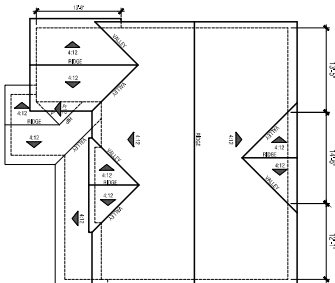
2A | Spanish

Eave 12" / Rake 12"
Low Profile Concrete "S" Tile



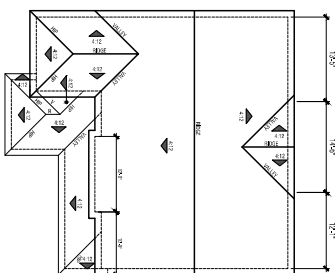
2B | Traditional

Eave 12" / Rake 12"
Concrete Flat Tile



2C | Craftsman

Eave 18" / Rake 12"
Concrete Flat Tile



2D | Tuscan

Eave 12" / Rake 12"
Low Profile Concrete "S" Tile

PLAN 2.2239
Roof Plans

AMBER SKY AT SUMMER CROSSINGS

MORENO VALLEY, CA

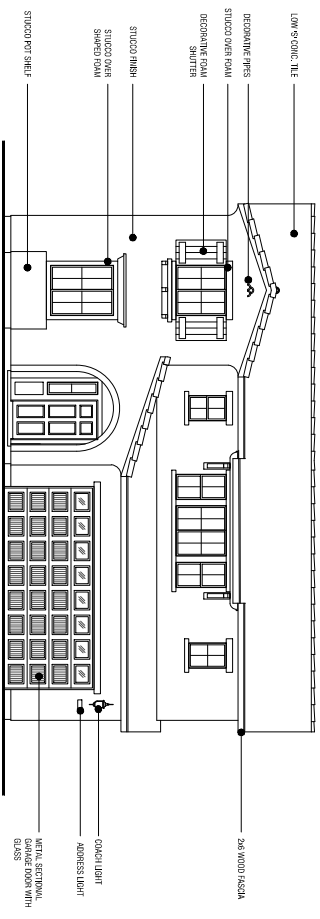
2.2
PUD SUBMITTAL

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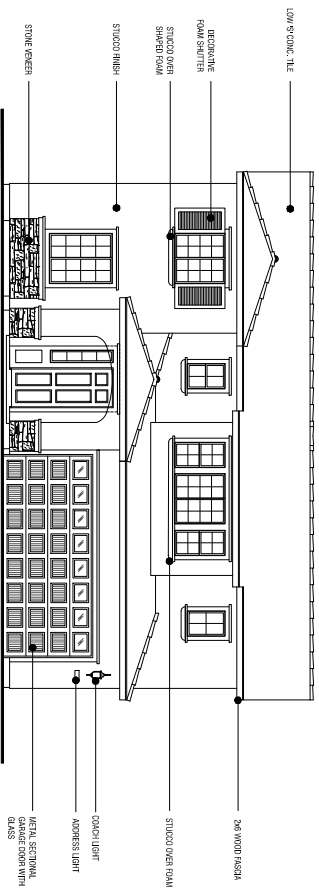




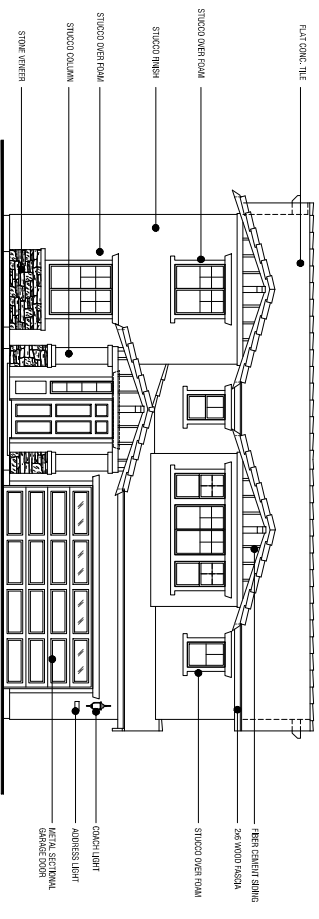
2B | Traditional



2A | Spanish



2D | Tuscan



2C | Craftsman

PLAN 2.2239
Front Elevations

AMBER SKY AT SUMMER CROSSINGS

MORENO VALLEY, CA

2.3

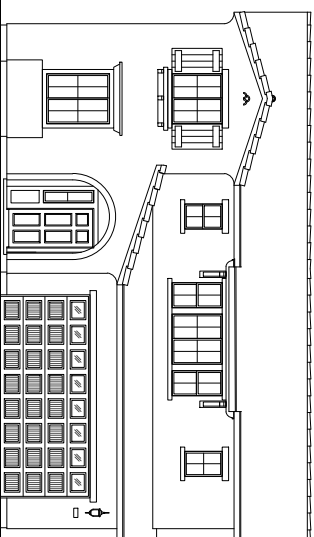
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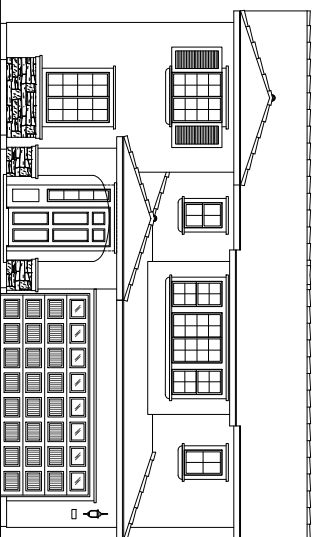




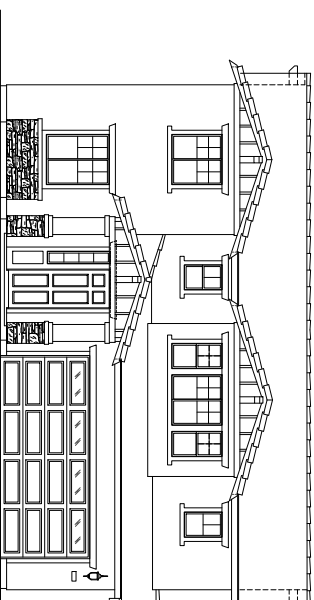
2B | Traditional



2A | Spanish



2D | Tuscan



2C | Craftsman

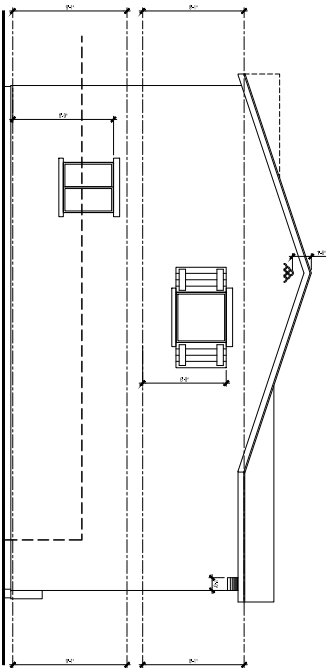
PLAN 2.2239
Front Elevations

AMBER SKY AT SUMMER CROSSINGS

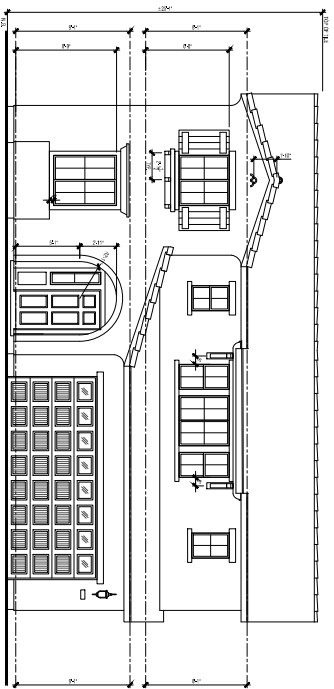
MORENO VALLEY, CA

2.3
0 2 4 8
PUD SUBMITTAL

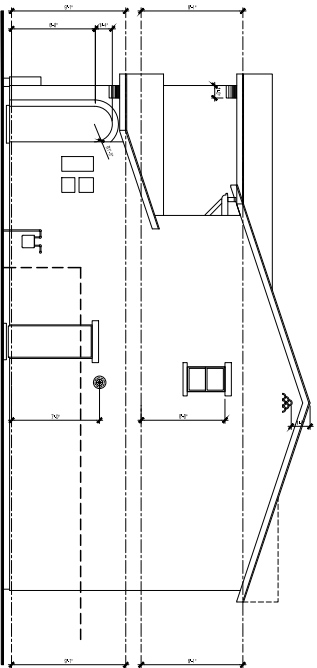




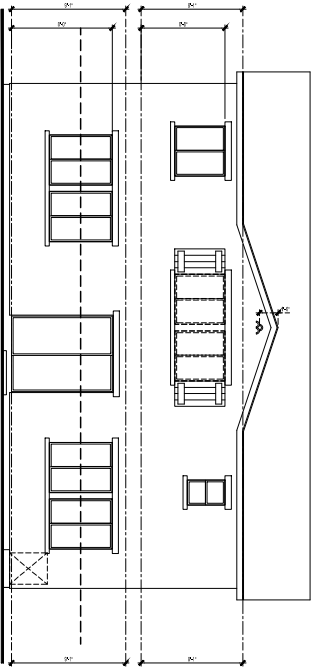
Left



Front



Right



Rear

PLAN 2.2239 | A - SPANISH
Building Elevations

AMBER SKY AT SUMMER CROSSINGS

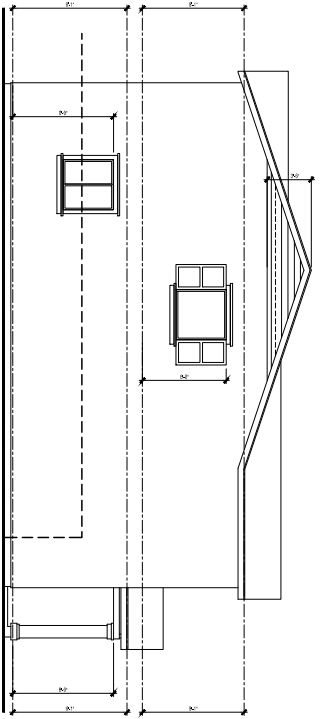
MORENO VALLEY, CA

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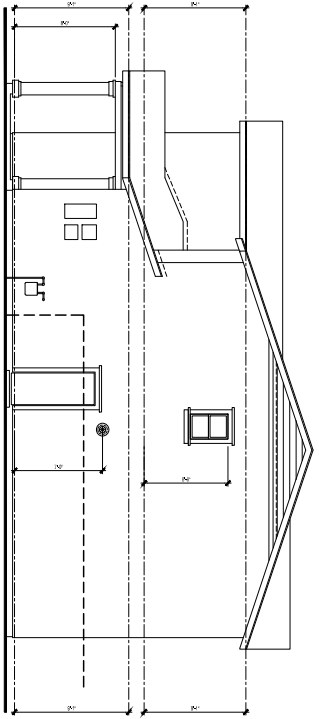
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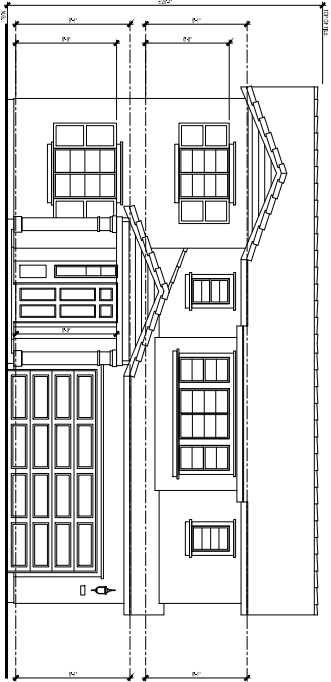




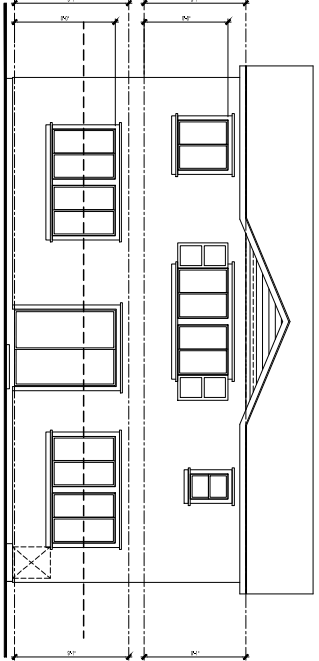
Left



Right



Front



Rear

PLAN 2.2239 | B - TRADITIONAL
Building Elevations

AMBER SKY AT SUMMER CROSSINGS

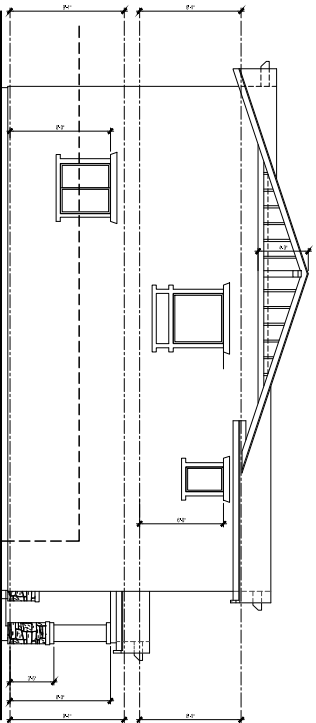
MORENO VALLEY, CA



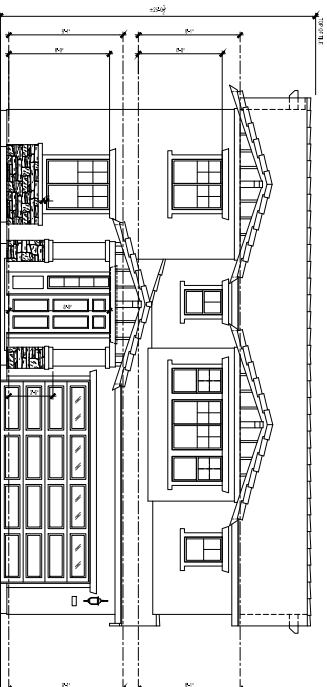
2.5
0 2 4 8

PUD SUBMITTAL
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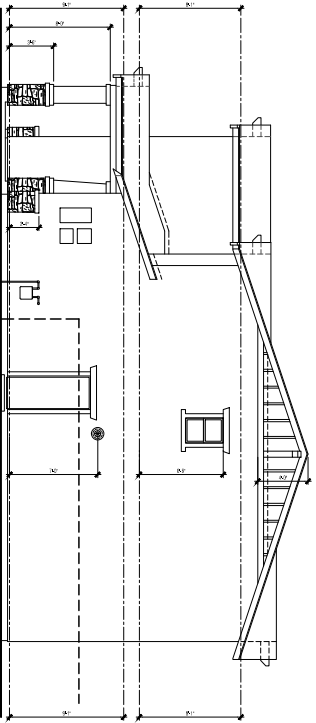




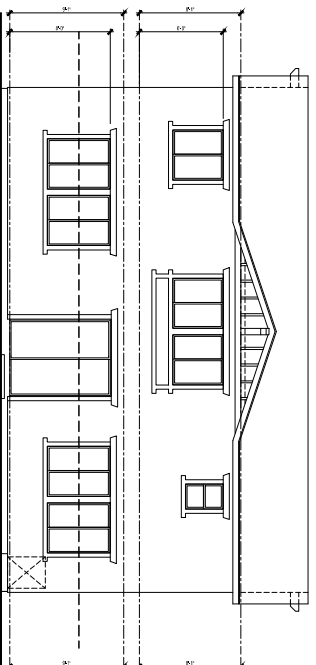
Left



Front



Right



Rear

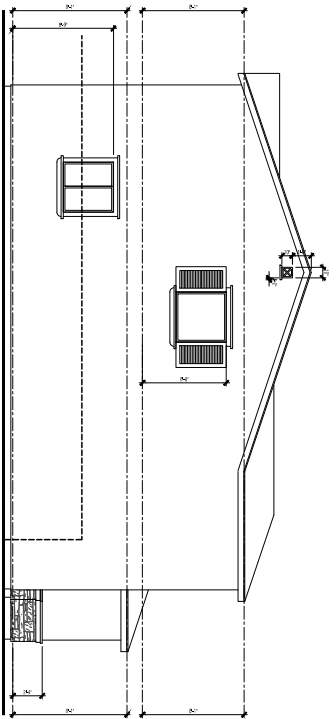
PLAN 2.2239 | C - CRAFTSMAN
Building Elevations

AMBER SKY AT SUMMER CROSSINGS

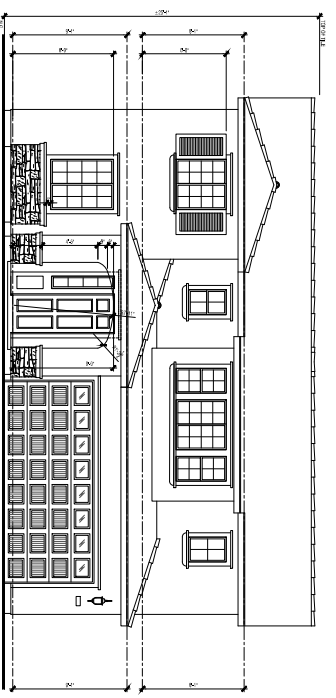
MORENO VALLEY, CA

2.7
0 2 4 8
PUD SUBMITTAL

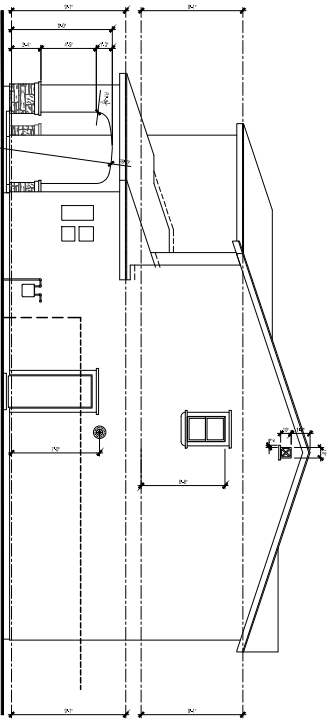




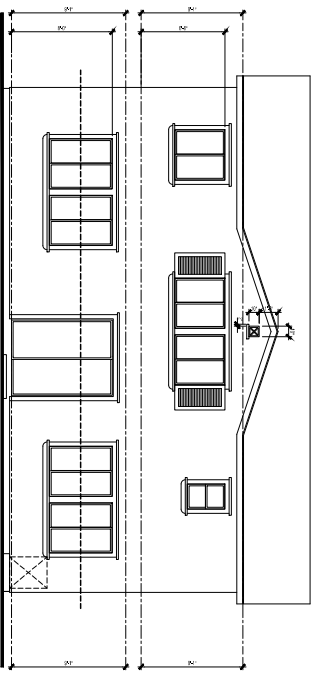
Left



Front



Right



Rear

PLAN 2.2239 | D - TUSCAN

Building Elevations

AMBER SKY AT SUMMER CROSSINGS

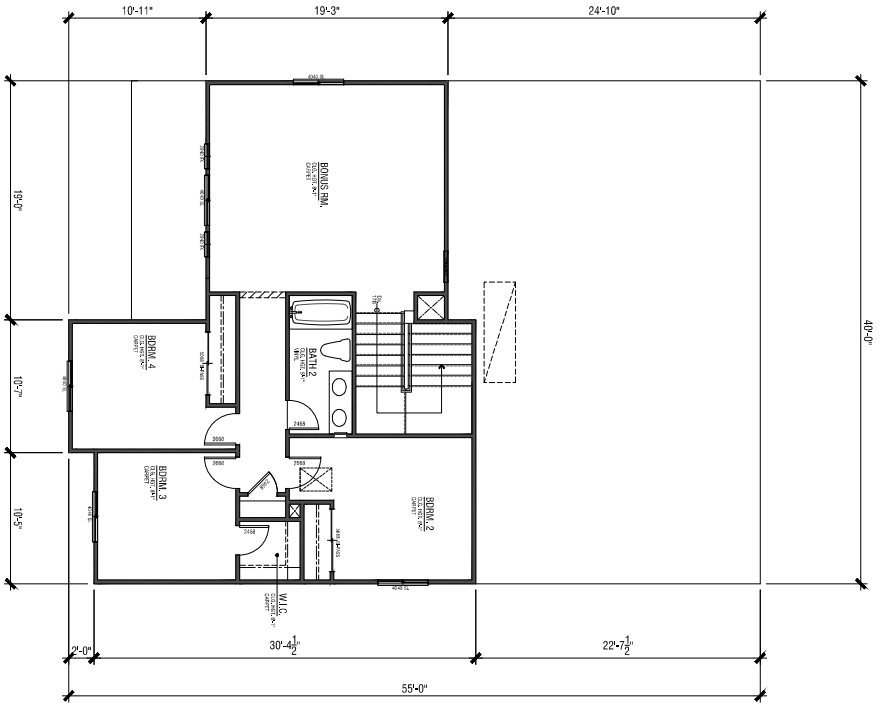
MORENO VALLEY, CA

PUD SUBMITTAL

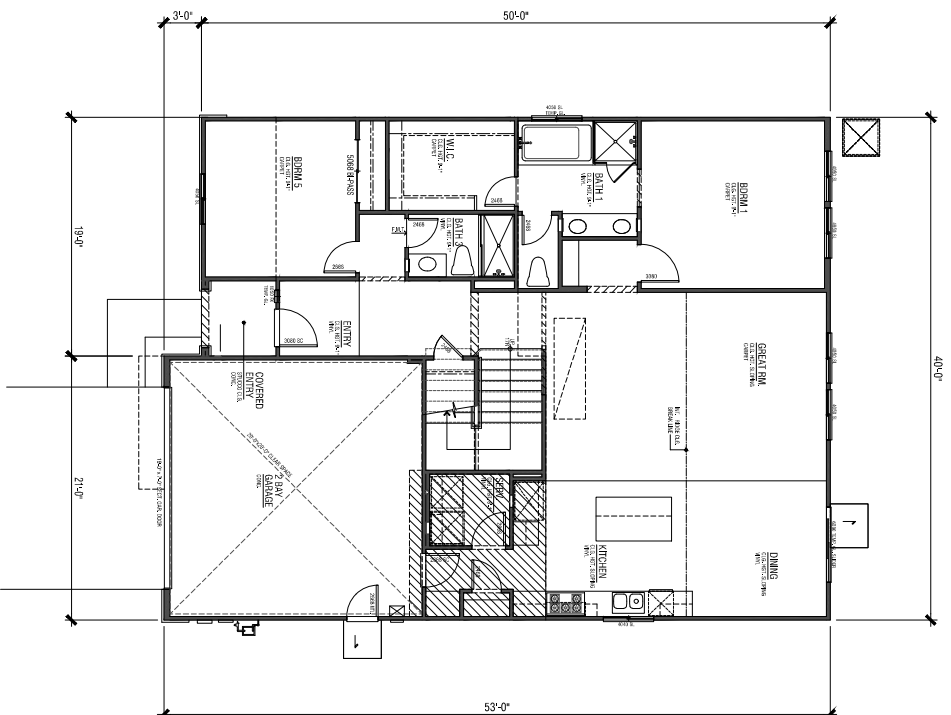
2.6

0 2 4 8





Upper Floor - 1,520 SF



Lower Floor - 1,201 SF

PLAN 3.2537

2,721 SF

4 Bdrm | 3 Ba | Loft

2 Bay Garage

8' | 9' Plates

3A | Spanish



AMBER SKY AT SUMMER CROSSINGS

MORENO VALLEY, CA

3.0

PUD SUBMITTAL
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2022180 | 07-15-22

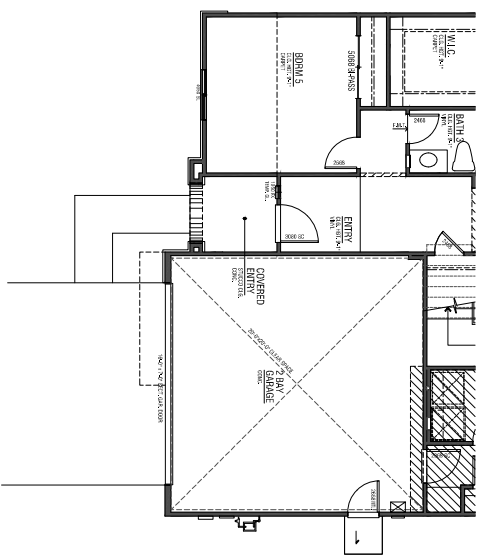
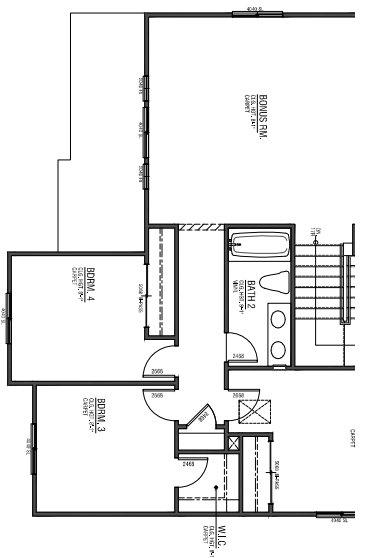


PLAN 3.2537
2,721 SF
4 Bdrm | 3 Ba | Loft
2 Bay Garage
8' | 9' Plates

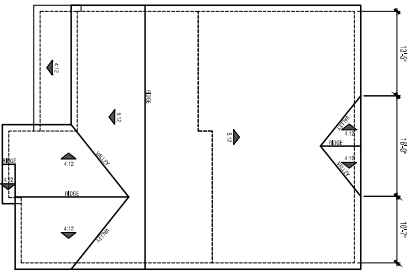
AMBER SKY AT SUMMER CROSSINGS

MORENO VALLEY, CA

3D | Tuscan

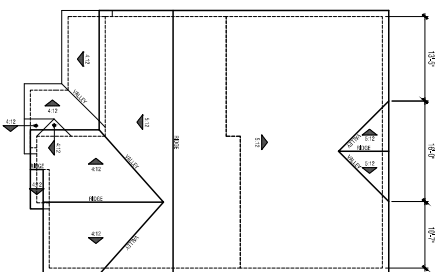


0 2 4 8
3.1.1



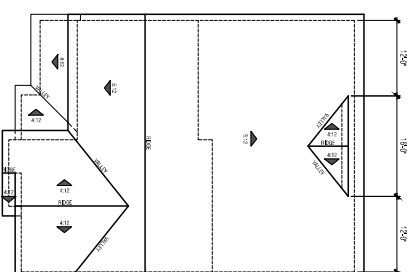
3A | Spanish

Eave 12" / Rake 12"
Concrete Low "S" Tile



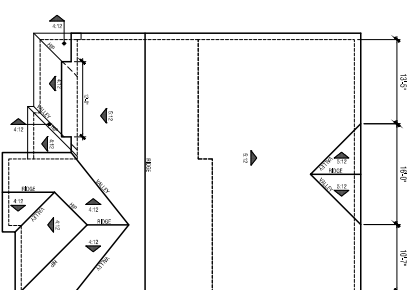
3B | Traditional

Eave 12" / Rake 12"
Concrete Flat Tile



3C | Craftsman

Eave 18" / Rake 12"
Concrete Flat Tile



3D | Tuscan

Eave 12" / Rake 12"
Concrete Low "S" Tile

PLAN 3.2537

Roof Plans

AMBER SKY AT SUMMER CROSSINGS

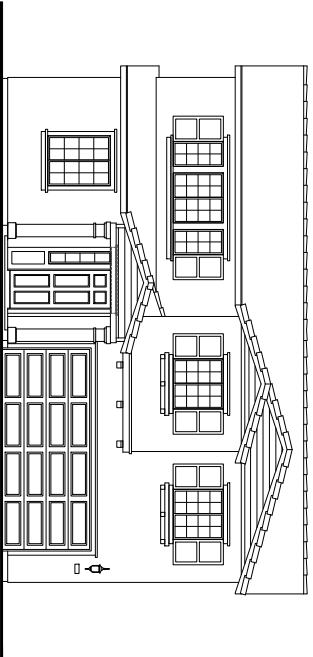
MORENO VALLEY, CA

PUD SUBMITTAL

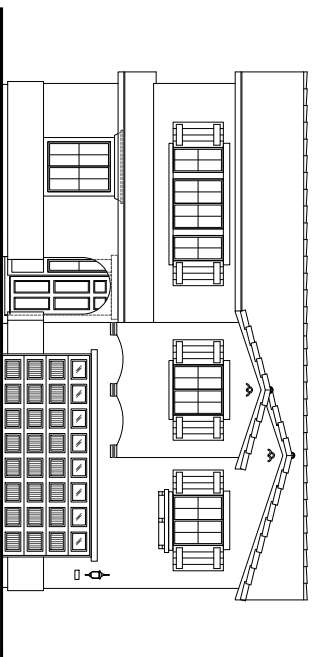
3.2

0 2 4 8

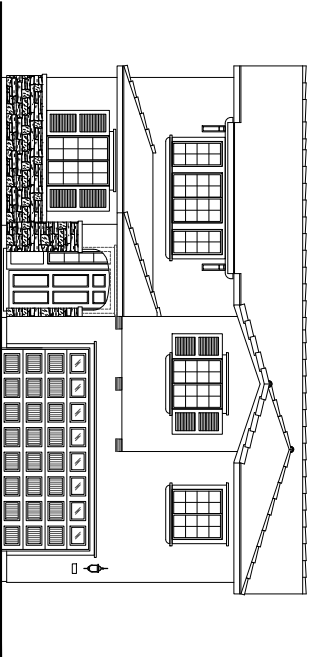




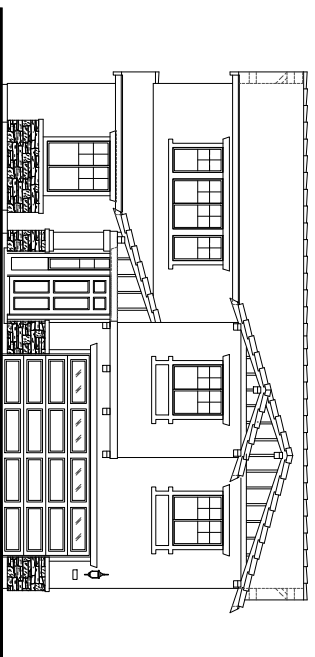
3B | Traditional



3A | Spanish



3D | Tuscan



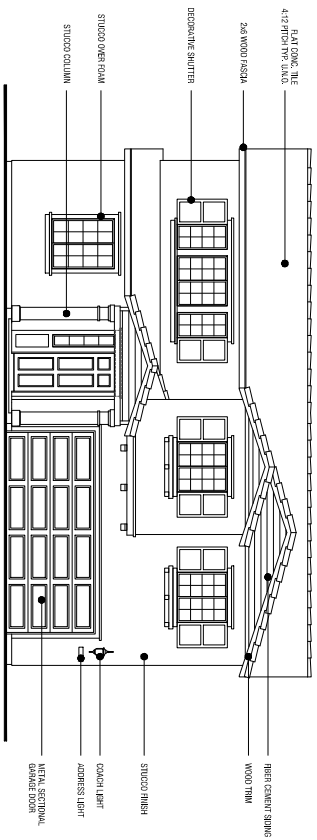
3C | Craftsman

PLAN 3.2537
Front Elevations

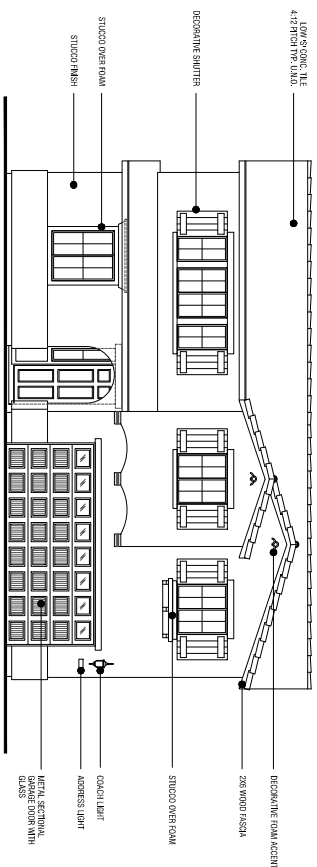
AMBER SKY AT SUMMER CROSSINGS

MORENO VALLEY, CA

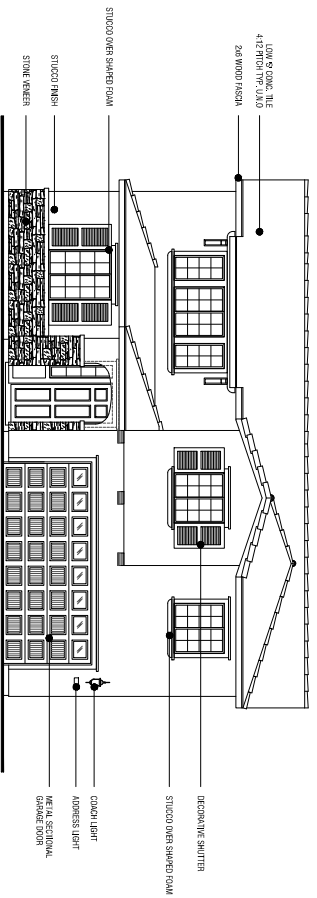
3.3
PUD SUBMITTAL
0 2 4 8



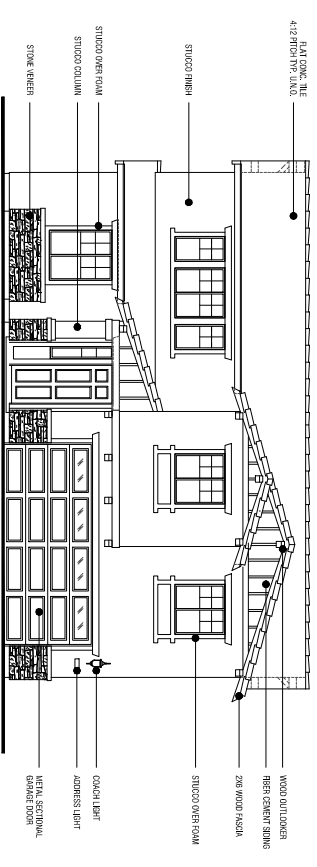
3B | Traditional



3A | Spanish



3D | Tuscan



3C | Craftsman

PLAN 3.2537
Front Elevations

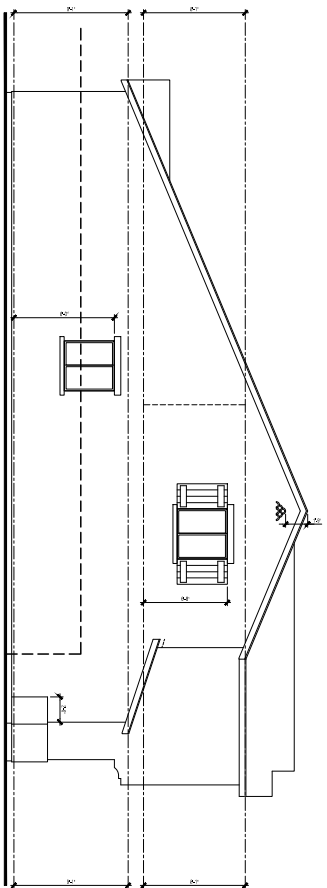
AMBER SKY AT SUMMER CROSSINGS

MORENO VALLEY, CA

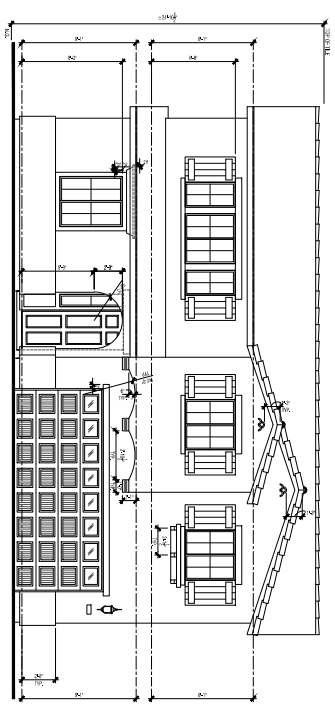
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PUD SUBMITTAL

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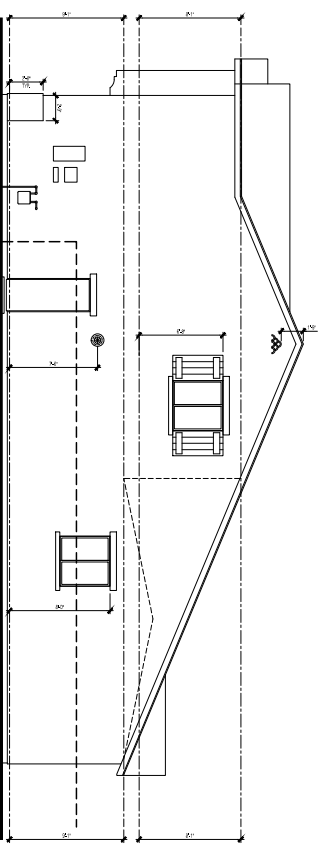




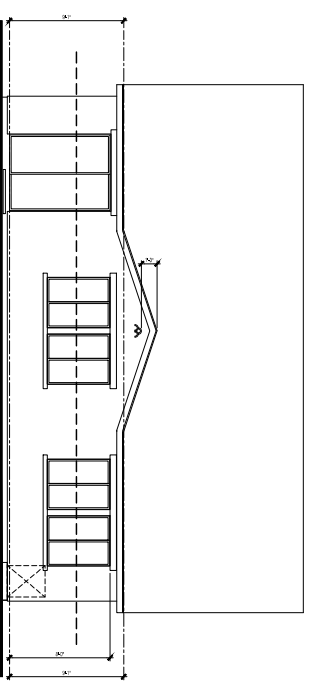
Left



Front



Right



Rear

PLAN 3.2537 | A - SPANISH
Building Elevations

AMBER SKY AT SUMMER CROSSINGS

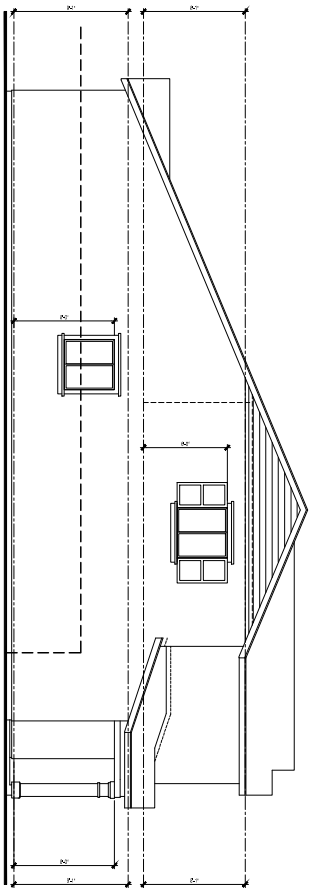
MORENO VALLEY, CA

3.4
PUD SUBMITTAL
0 2 4 8

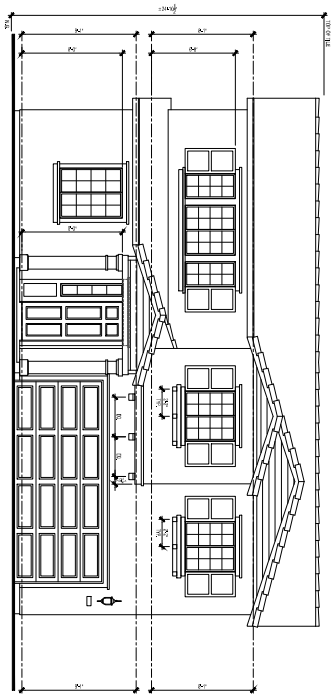


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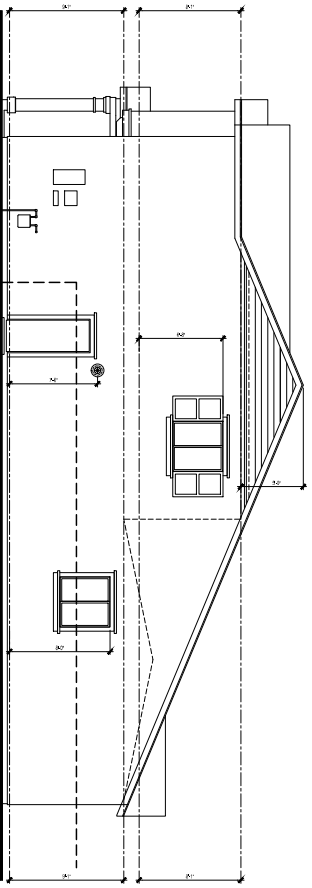




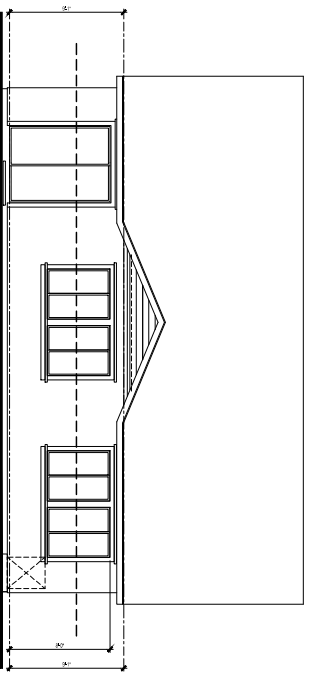
Left



Front



Right



Rear

PLAN 3.2537 | B - TRADITIONAL
Building Elevations

AMBER SKY AT SUMMER CROSSINGS

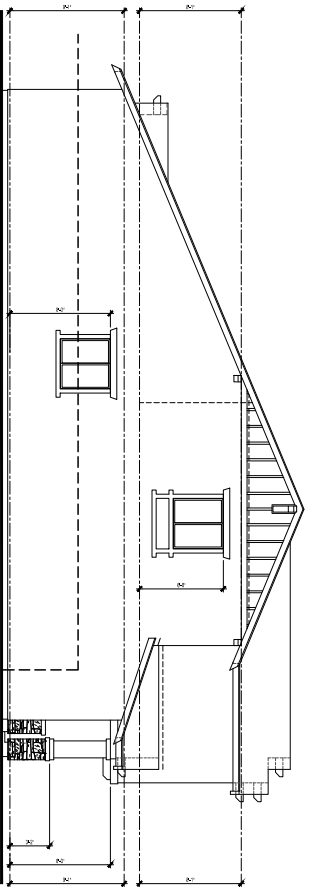
MORENO VALLEY, CA

3.5
PUD SUBMITTAL

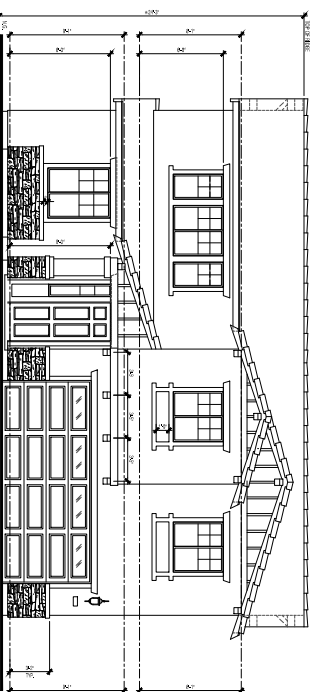


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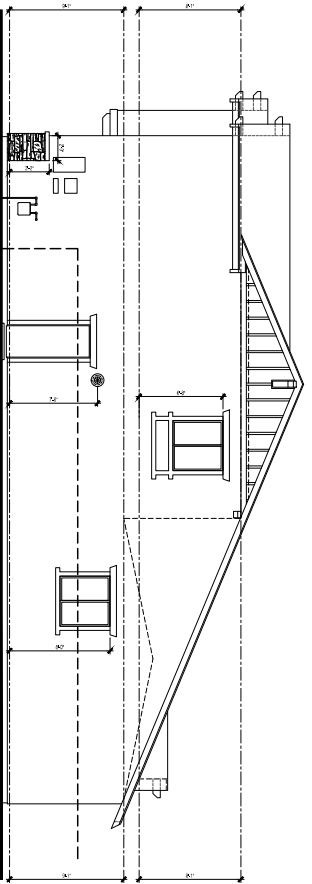




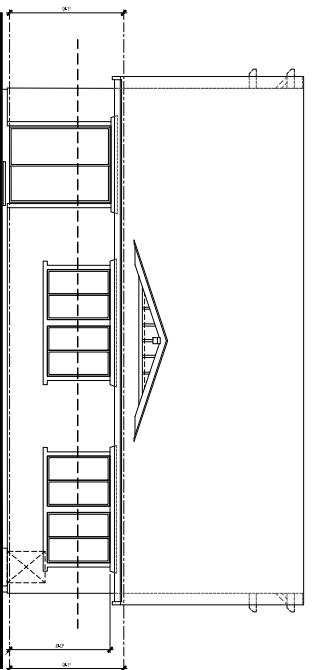
Left



Front



Right



Rear

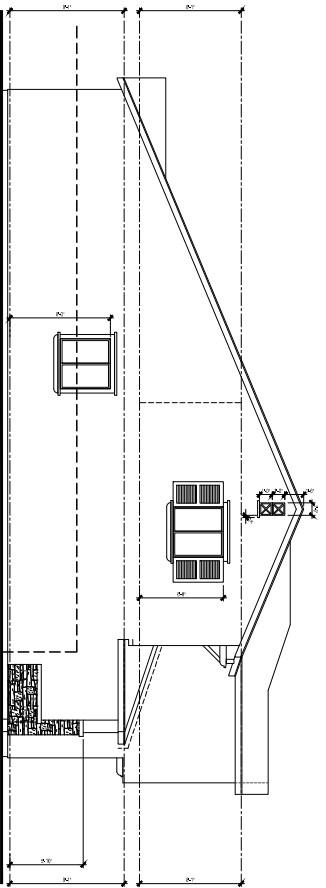
PLAN 3.2537 | C - CRAFTSMAN
Building Elevations

AMBER SKY AT SUMMER CROSSINGS

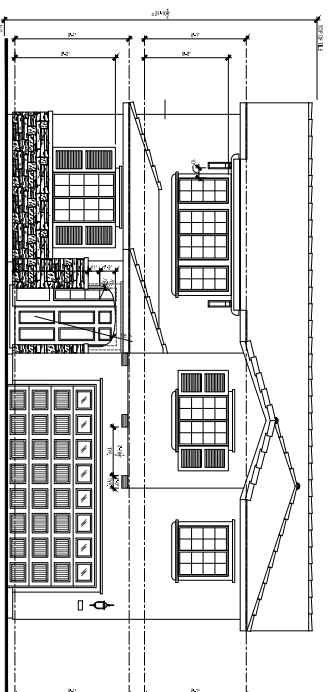
MORENO VALLEY, CA

3.6
PUD SUBMITTAL
0 2 4 8

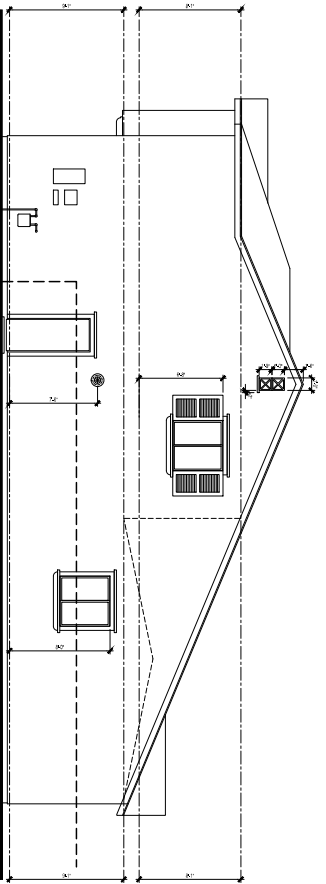




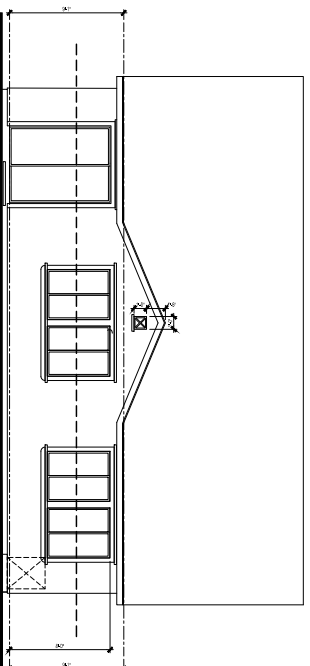
Left



Front



Right



Rear

PLAN 3.2537 | D - TUSCAN
Building Elevations

AMBER SKY AT SUMMER CROSSINGS

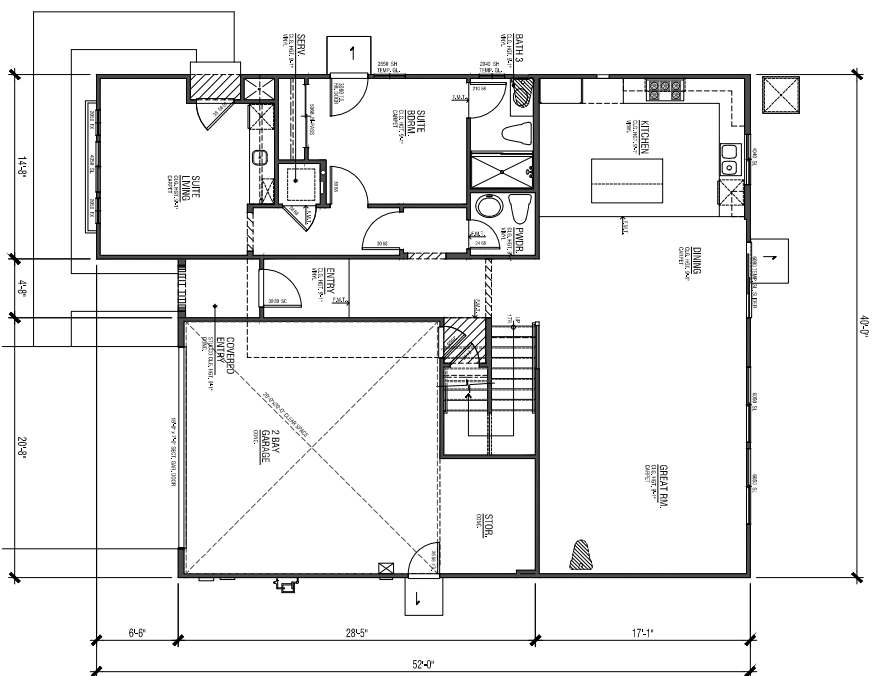
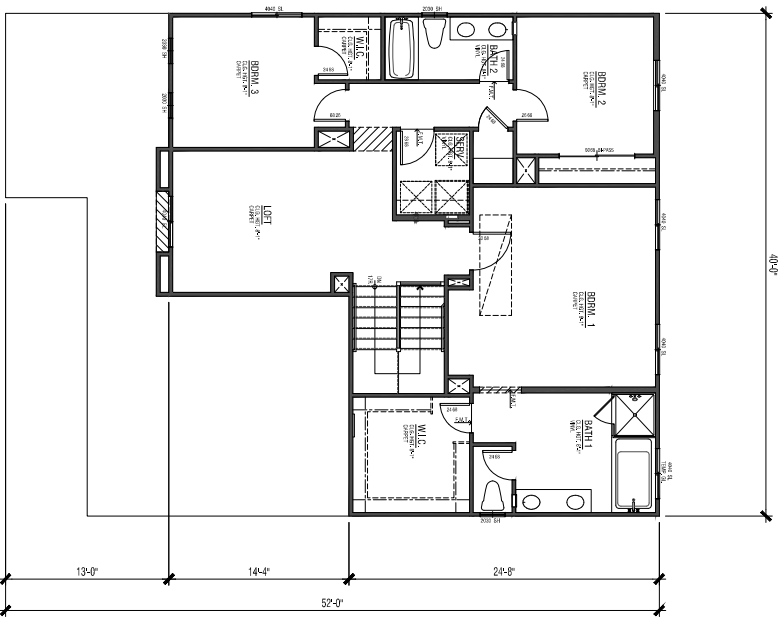
MORENO VALLEY, CA

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PUD SUBMITTAL

3.7





PLAN 4.2617

2,617 SF
 4 Bdrm | 3.5 Ba | Loft
 Multi-Gen Suite
 2 Bay | + Storage Garage
 8' | 9' Plates

4A | Spanish

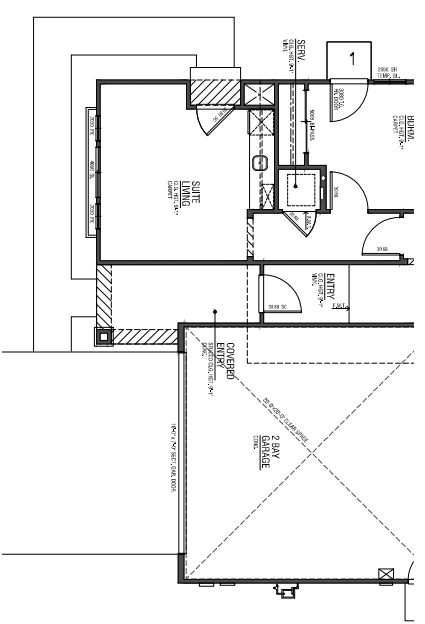
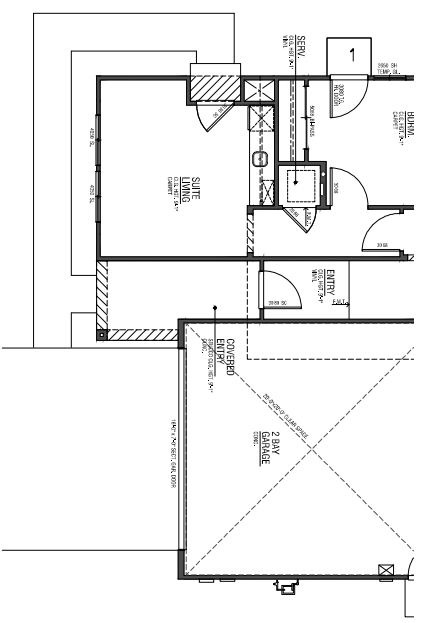
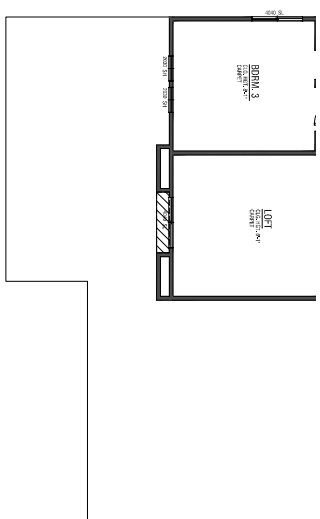
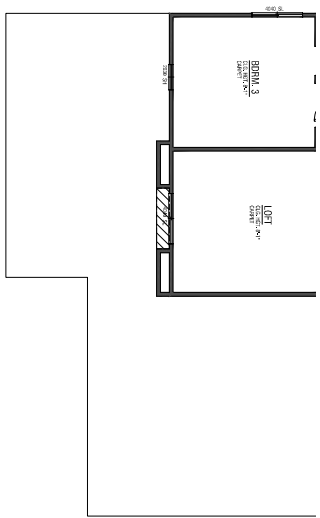


AMBER SKY AT SUMMER CROSSINGS

MORENO VALLEY, CA

4.0
 0 2 4 8
 PUD SUBMITTAL
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4B | Traditional

4C | Craftsman

PLAN 4.2617

2,617 SF
 3 Bdrm | 2.5 Ba | Loft
 Multi-Gen Suite
 2 Bay | + Storage Garage
 8' | 9' Plates

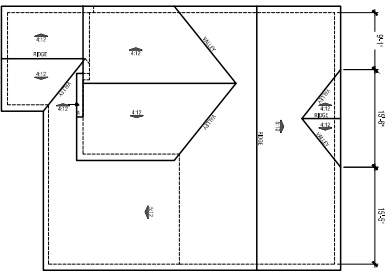
AMBER SKY AT SUMMER CROSSINGS

MORENO VALLEY, CA

4.1.0
 PUD SUBMITTAL

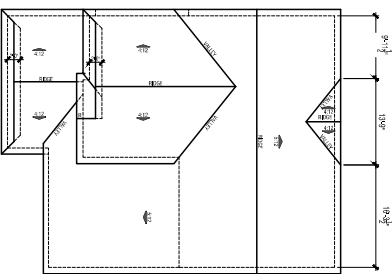
© 2021 WILLIAM HERDMAN/DAVID ARCHITECTS, INC. DA WVA | 2022180 | 07-15-22





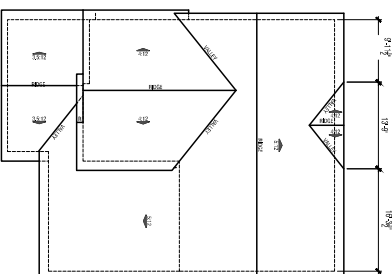
4A | Spanish

Eave 12" / Rake 12"
Concrete Low "S" Tile



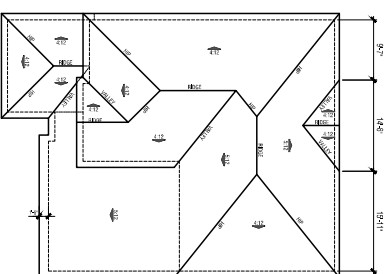
4B | Traditional

Eave 12" / Rake 12"
Concrete Flat Tile



4C | Craftsman

Eave 18" / Rake 12"
Concrete Flat Tile



4D | Tuscan

Eave 12" / Rake 12"
Concrete Low "S" Tile

PLAN 4.2617
Roof Plans

AMBER SKY AT SUMMER CROSSINGS

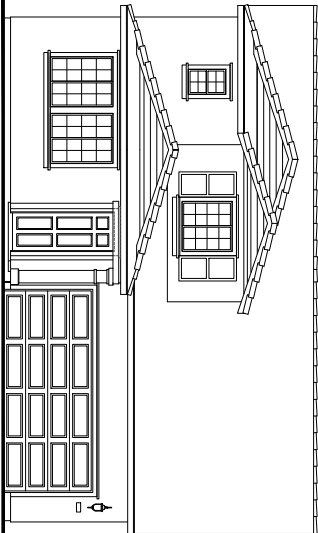
MORENO VALLEY, CA



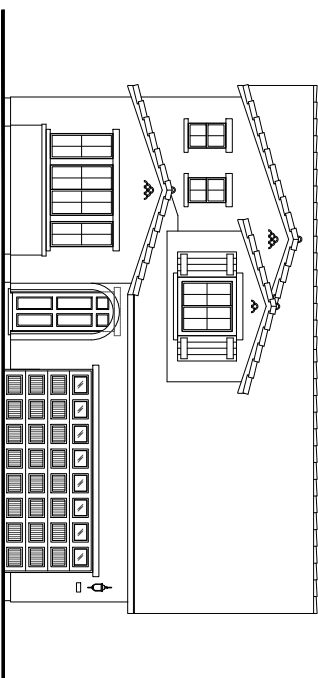
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PUD SUBMITTAL
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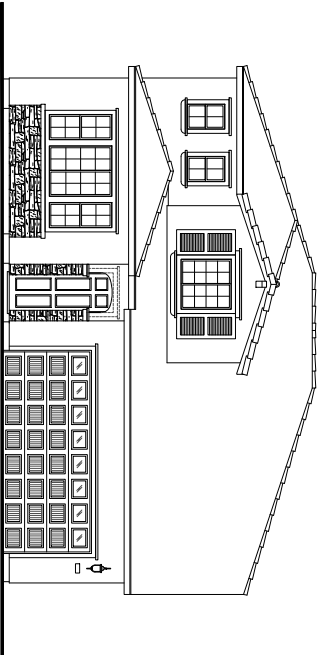




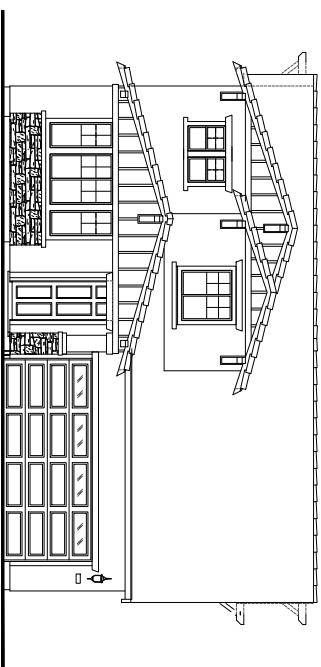
4B | Traditional



4A | Spanish



4D | Tuscan



4C | Craftsman

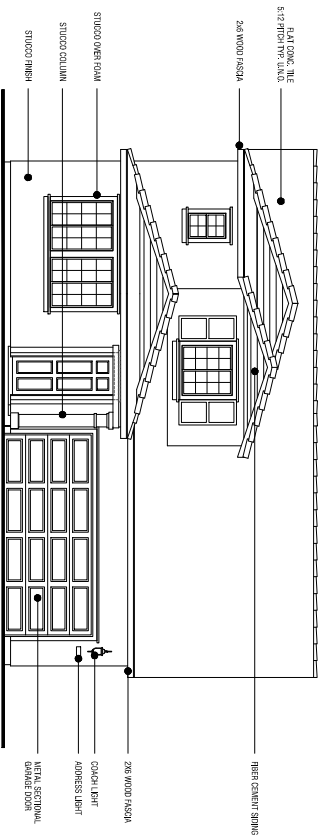
PLAN 4.2617
Front Elevations

AMBER SKY AT SUMMER CROSSINGS

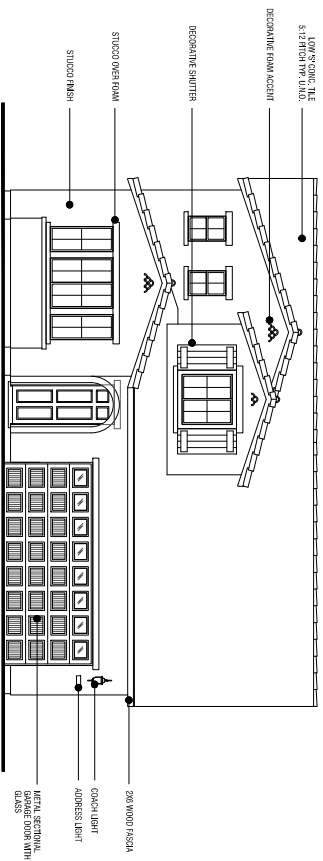
MORENO VALLEY, CA

4.3
0 2 4 8
PUD SUBMITTAL

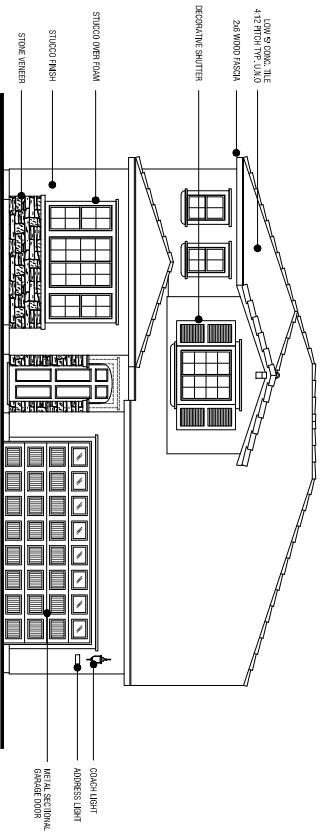




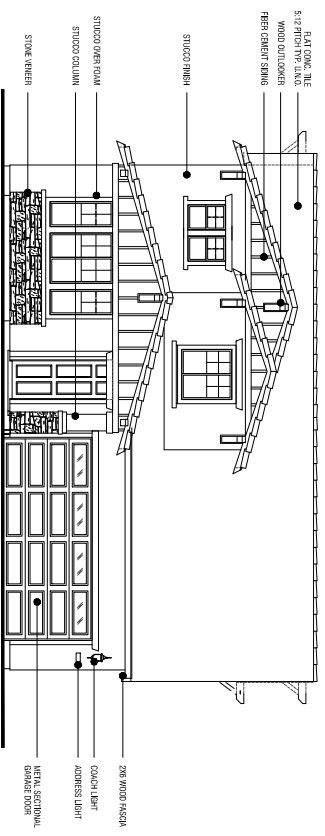
4B | Traditional



4A | Spanish



4D | Tuscan



4C | Craftsman

PLAN 4.2617
Front Elevations

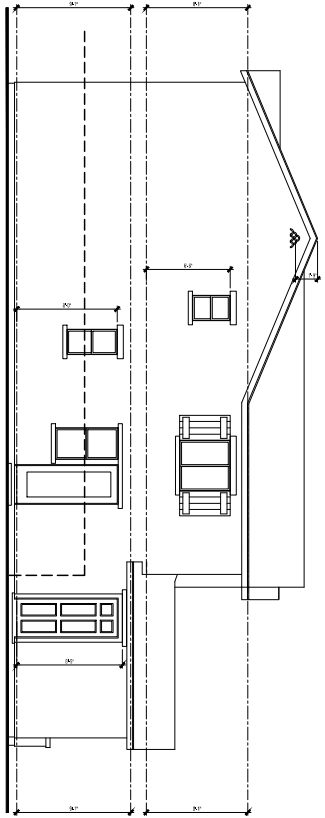
AMBER SKY AT SUMMER CROSSINGS

MORENO VALLEY, CA

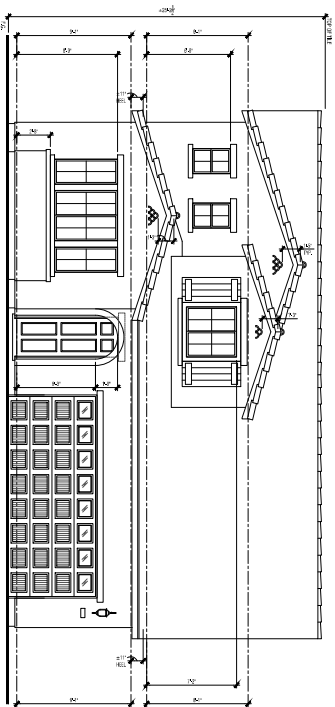
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PUD SUBMITTAL

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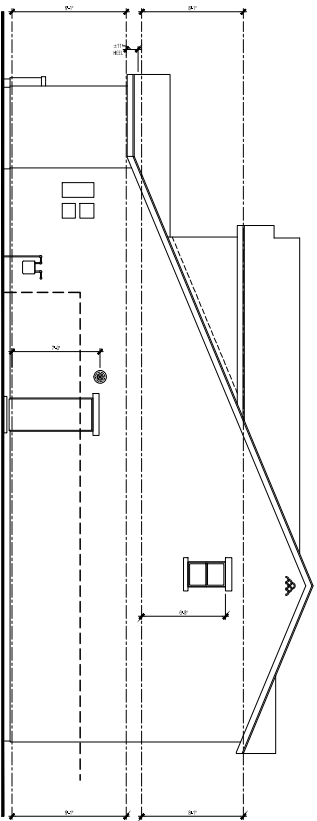




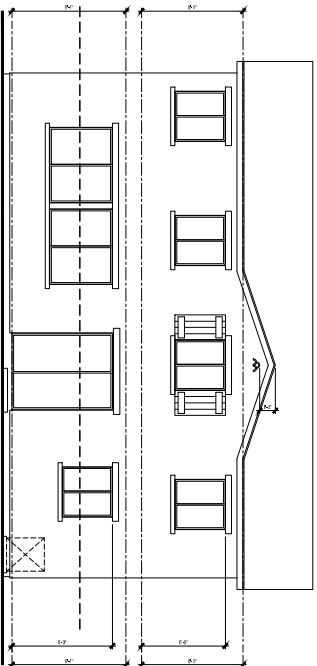
Left



Front



Right



Rear

PLAN 4.2617 | A - SPANISH
Building Elevations

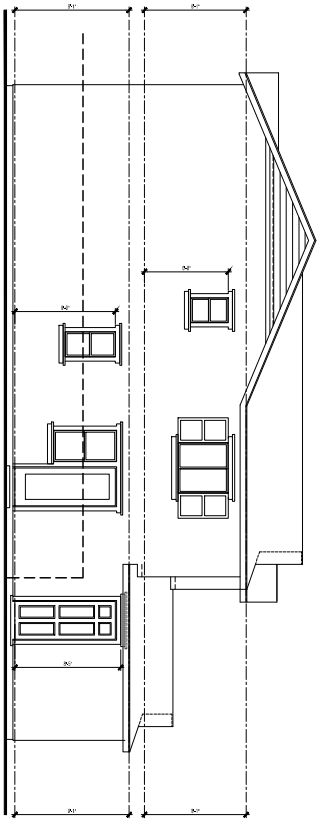
AMBER SKY AT SUMMER CROSSINGS

MORENO VALLEY, CA

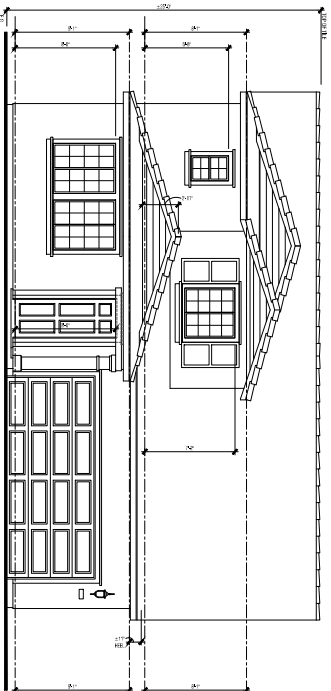
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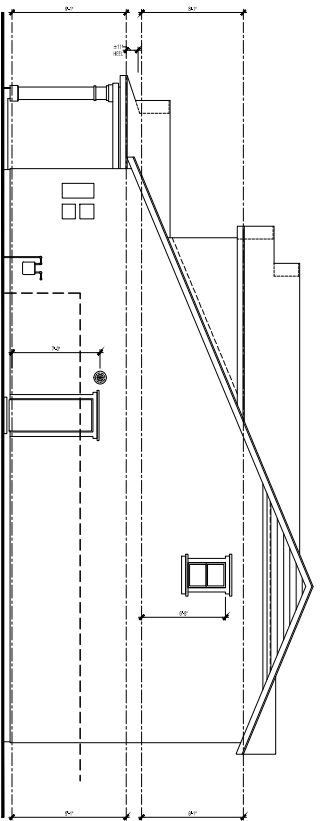
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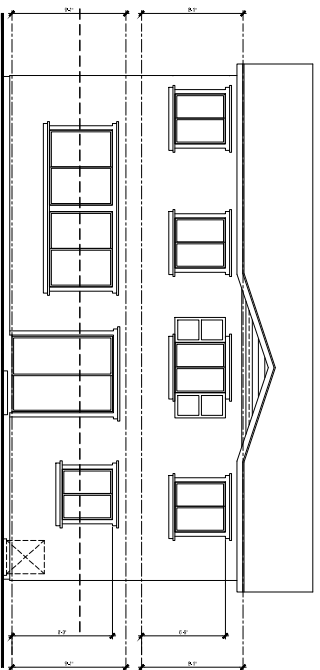
Left



Front



Right



Rear

PLAN 4.2617 | B - TRADITIONAL

Building Elevations

AMBER SKY AT SUMMER CROSSINGS

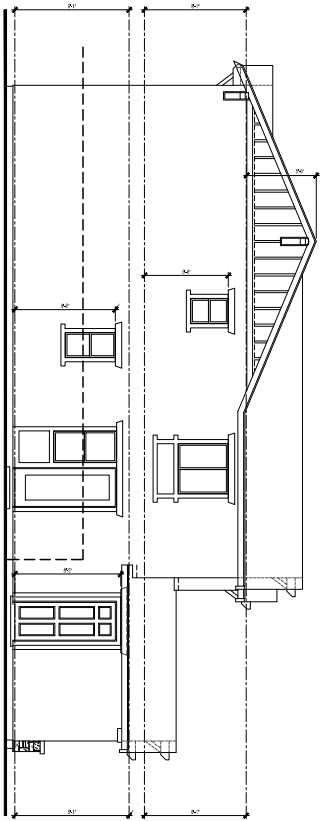
MORENO VALLEY, CA

PUD SUBMITTAL

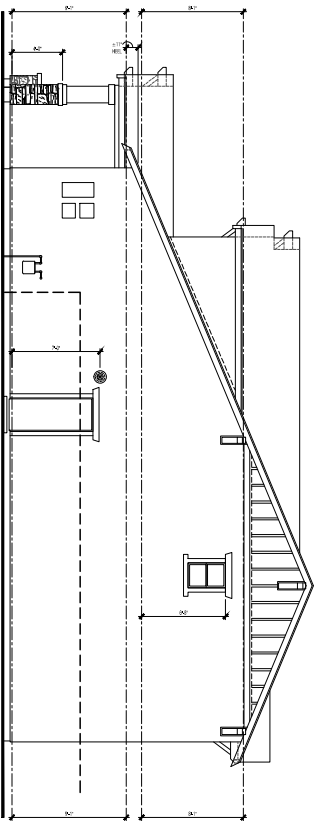
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0 2 4 8

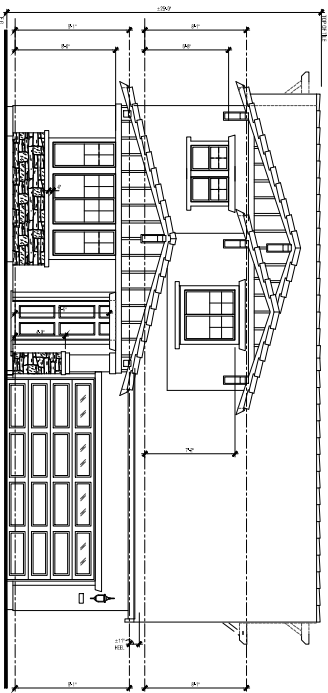




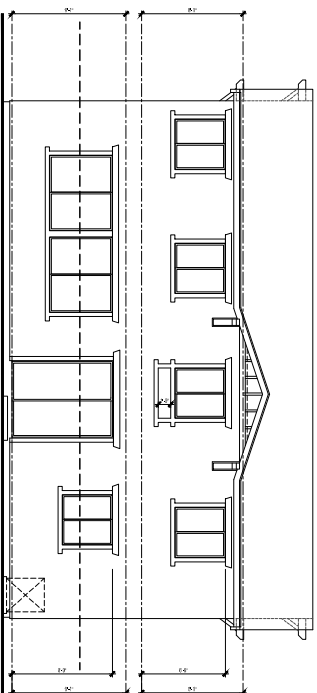
Left



Right



Front



Rear

PLAN 4.2617 | C - CRAFTSMAN
Building Elevations

AMBER SKY AT SUMMER CROSSINGS

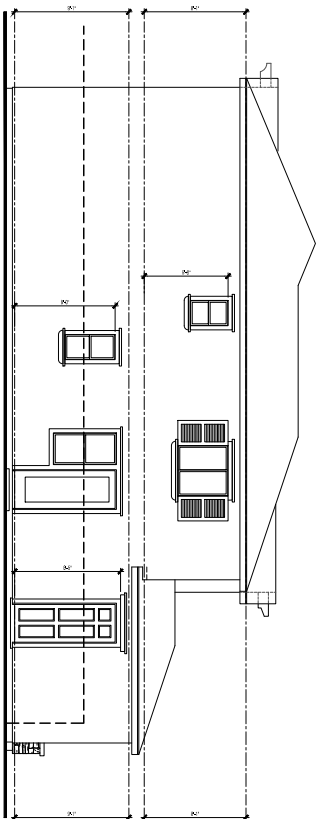
MORENO VALLEY, CA

PUD SUBMITTAL

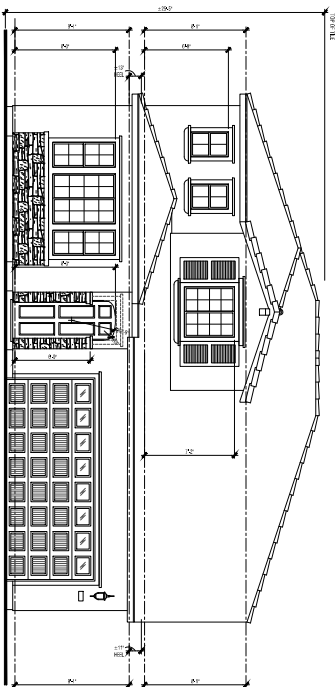
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0 2 4 8

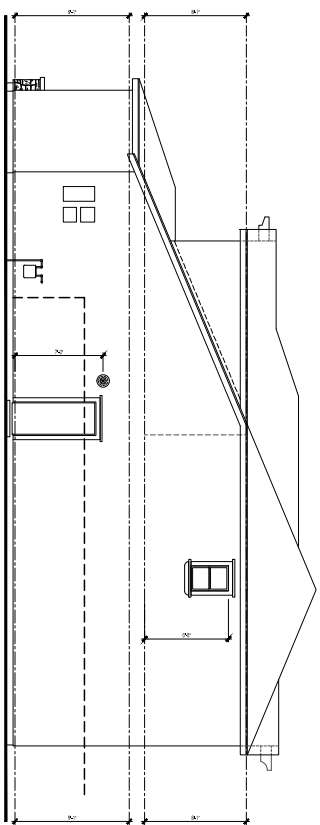




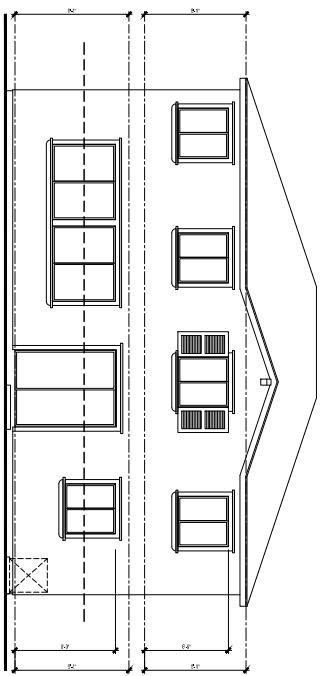
Left



Front



Right



Rear

PLAN 4.2617 | D - TUSCAN
Building Elevations

AMBER SKY AT SUMMER CROSSINGS

MORENO VALLEY, CA



4.7
0 2 4 8

PUD SUBMITTAL
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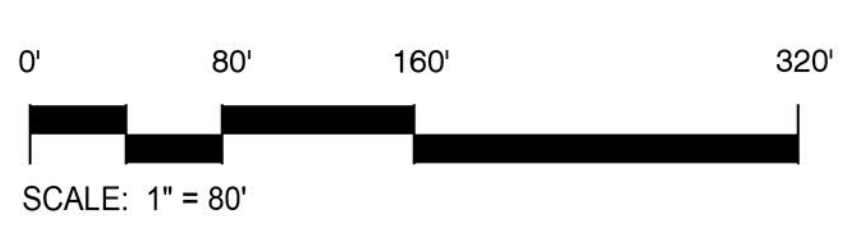




**SUNSET CROSSINGS - NORTH
TRACT# 38443**

**SUNSET CROSSINGS - SOUTH
PER SEPARATE ADG PACKAGE**

SUNSET CROSSINGS - NORTH, TRACT # 38443
CONCEPTUAL LANDSCAPE MASTER PLAN
 MORENO VALLEY, CA



DATE: FEBRUARY 22, 2024
 ADG JOB #: 2204



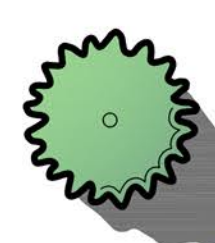

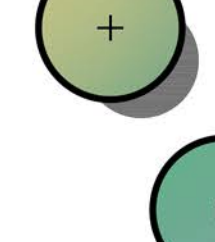

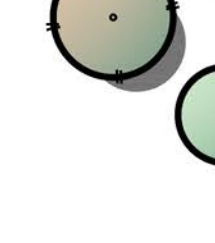





FEATURE LEGEND:

- ① Multi-Purpose Trail with Vinyl Rail Fencing.
- ② Picnic Tables.
- ③ Open Turf Play Area.
- ④ Bench Seating at Splash Pad.
- ⑤ Exercise Station Along Multi-Purpose Trail.
- ⑥ Basketball Half Courts.
- ⑦ Splash Pad Play Area.
- ⑧ Park Monument.
- ⑨ Sediment Collection Basin.
- ⑩ Overhead Structure with Picnic Tables.
- ⑪ Restroom, Showers and Equipment Building.
- ⑫ Paseo Connection Walkway.
- ⑬ Maintenance Vehicular Gate and Access Drive.
- ⑭ Tubular Steel Fencing Enclosure at Basin.
- ⑮ Water Quality Basin.

PLANT PALETTE:

TREES

-  **LARGE EVERGREEN SPECIMEN**
Cedrus atlantica • Atlas Cedar
-  **LARGE DECIDUOUS SHADE CANOPY TREE**
Platanus racemosa • California Sycamore
-  **PARKWAY TREE ALONG COTTONWOOD AVE. AND ALESSANDRO AVE.**
Koelreuteria bipinnata • Chinese Flame Tree
-  **PARKWAY TREE ALONG BAY AVE. AND STREET A**
Magnolia grandiflora 'Russet' • Southern Magnolia
-  **INTERIOR STREET TREES**
Tabebuia impetiginosa • Pink Trumpet Tree
Pistacia chinensis • Chinese Pistache
Lophostemon confertus • Brisbane Box
-  **FLOWERING ACCENT TREE**
Lagerstroemia indica • Crape Myrtle
Cercis canadensis 'Forest Pansy' • Eastern Redbud
-  **EVERGREEN SCREENING TREE MASS**
Melaleuca quinquenervia • Cajuput Tree
-  **EVERGREEN UPRIGHT COLUMNAR TREE**
Cupressus s. 'Tiny Tower' • Tiny Tower Cypress
Podocarpus l. 'Icee Blue' • Icee Blue Yellow Wood

SHRUBS AND GROUNDCOVER

BACKGROUND

- Arbutus unedo* 'Compacta' • Dwarf Strawberry Tree
- Arctostaphylos* 'Howard McMinn' • Manzanita
- Cistus x purpureus* • Orchid Rockrose
- Olea europaea* 'Little Ollie' • Dwarf Olive
- Philadelphus lewisii* • Mock Orange
- Rhamnus californica* 'Eve Case' • Coffeeberry
- Teucrium f.* 'Azureum' • Bush Germander

MIDGROUND

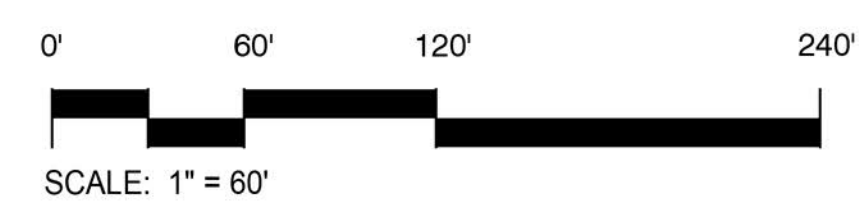
- Buxus m.* 'Japonica' • Japanese Boxwood
- Callistemon* 'Little John' • Dwarf Bottlebrush
- Encelia californica* • Bush Sunflower
- Eriogonum f.* 'Warriner Lytle' • California Buckwheat
- Iva hayesiana* • San Diego Povertyweed
- Lavandula dentata* • French Lavender
- Leymus c.* 'Canyon Prince' • Canyon Prince Wild Rye
- Rosa* 'Iceberg' • White Iceberg Rose
- Rosmarinus o.* 'Collingwood Ingram' • Dwarf Rosemary
- Salvia greggii* 'Furman's Red' • Autumn Sage
- Penstemon palmeri* • Scented Penstemon

FOREGROUND AND GROUNDCOVER

- Achillea x* 'Moonshine' • Moonshine Yarrow
- Juncus patens* • California Gray Rush
- Cistus salvifolius* • Sageleaf Rockrose
- Arctostaphylos* 'Emerald Carpet' • Carpet Manzanita
- Baccharis p.* 'Pigeon Point' • Pigeon Point Coyote Bush
- Rosmarinus o.* 'Huntington Carpet' • Huntington Carpet Rosemary

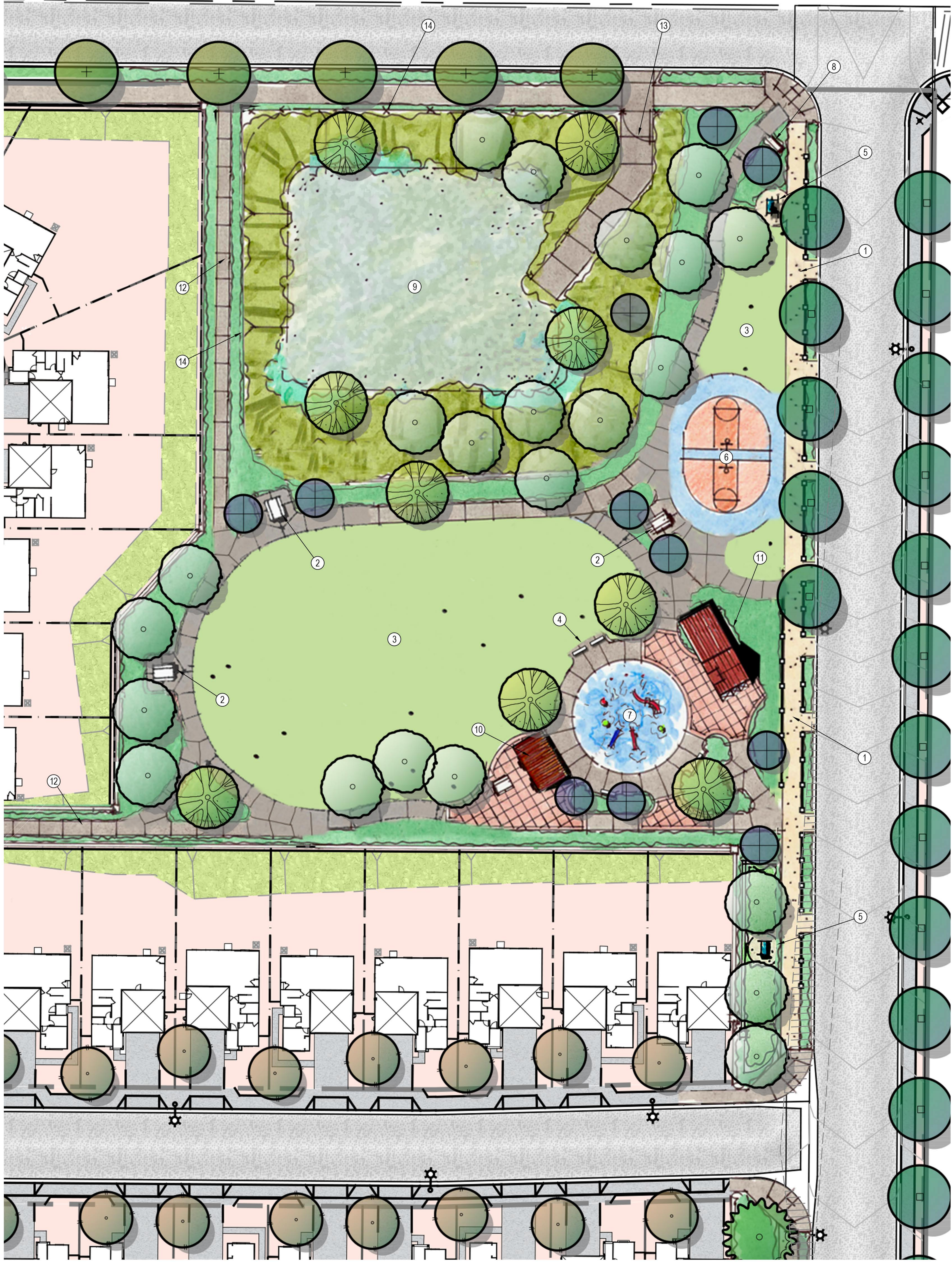
PRIVATE REARYARD SLOPES
(SEE SOUTH PLANT LIST)

SUNSET CROSSINGS - NORTH, TRACT # 38443
CONCEPTUAL LANDSCAPE MASTER PLAN
 MORENO VALLEY, CA



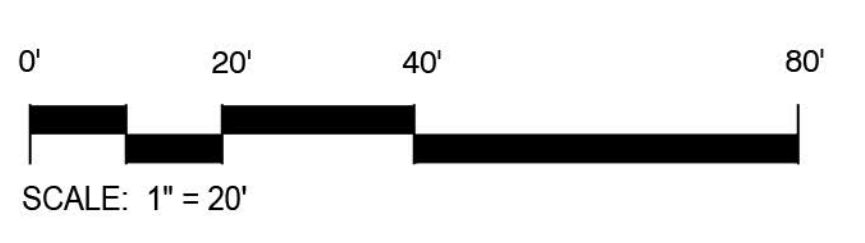
DATE: FEBRUARY 22, 2024
 ADG JOB #: 2204





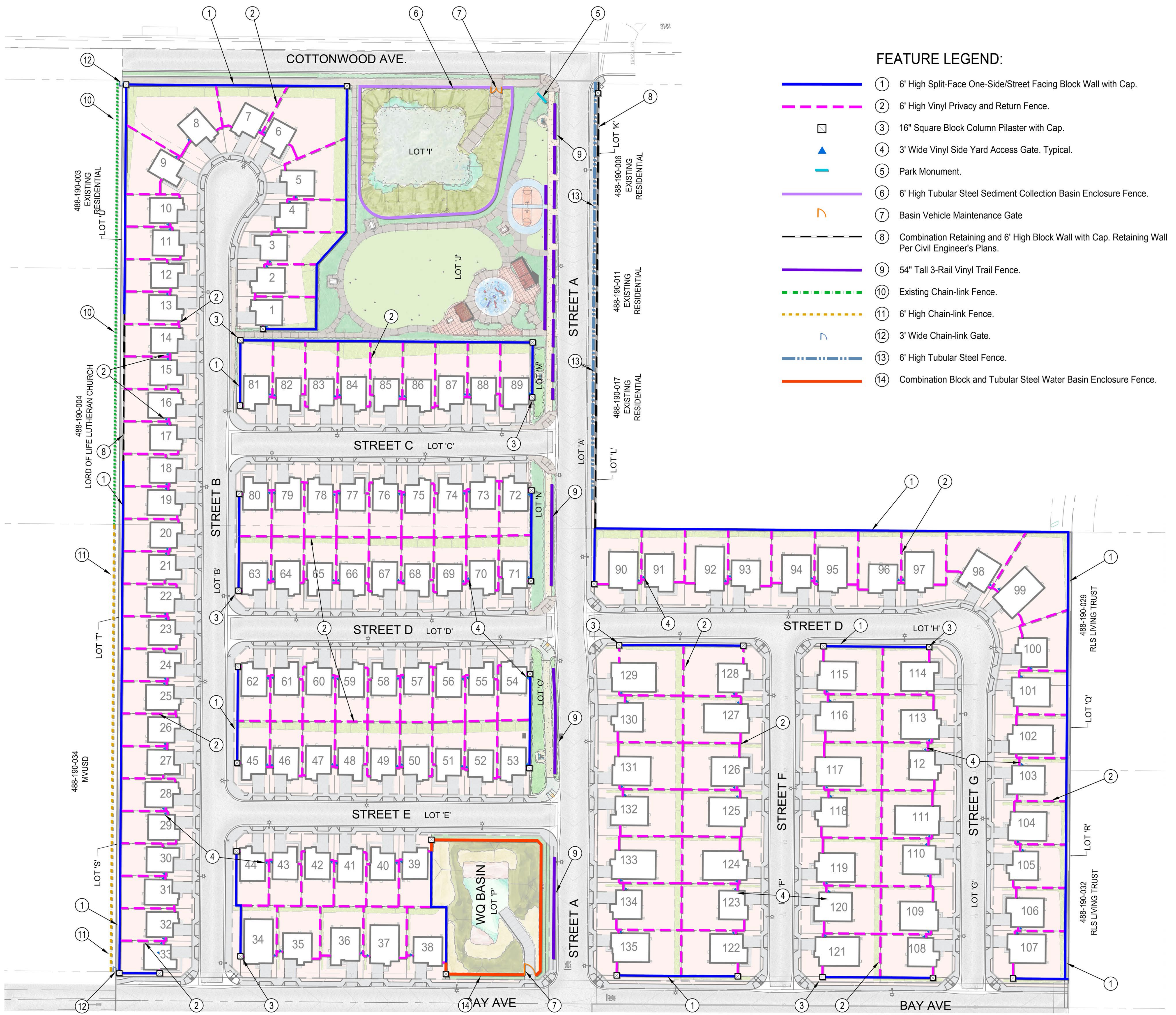
- FEATURE LEGEND:**
- ① Multi-Purpose Trail with Vinyl Rail Fencing.
 - ② Picnic Tables.
 - ③ Open Turf Play Area.
 - ④ Bench Seating at Splash Pad.
 - ⑤ Exercise Station Along Multi-Purpose Trail.
 - ⑥ Basketball Half Courts.
 - ⑦ Splash Pad Play Area.
 - ⑧ Park Monument.
 - ⑨ Sediment Collection Basin
 - ⑩ Overhead Structure with Picnic Tables.
 - ⑪ Restroom, Showers and Equipment Building
 - ⑫ Paseo Connection Walkway.
 - ⑬ Maintenance Vehicular Gate and Access Drive.
 - ⑭ Tubular Steel Fencing Enclosure at Basin.

SUNSET CROSSINGS - NORTH, TRACT # 38443
PARK NORTH CONCEPTUAL ENLARGEMENT
 MORENO VALLEY, CA



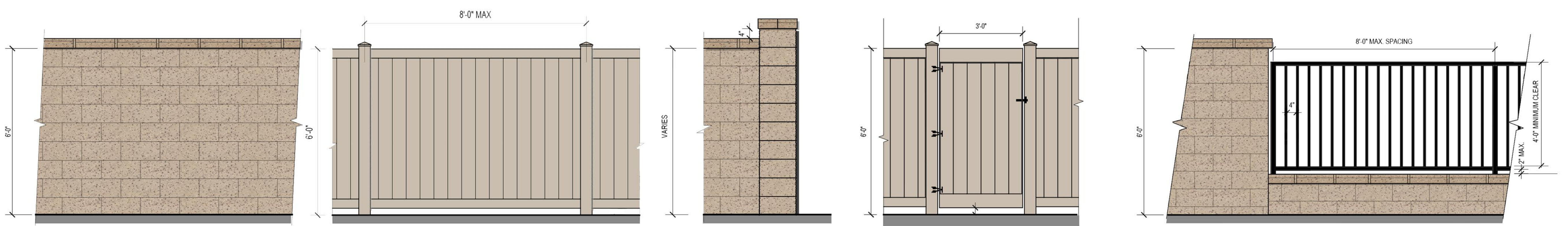
DATE: FEBRUARY 22, 2024
 ADG JOB #: 2204



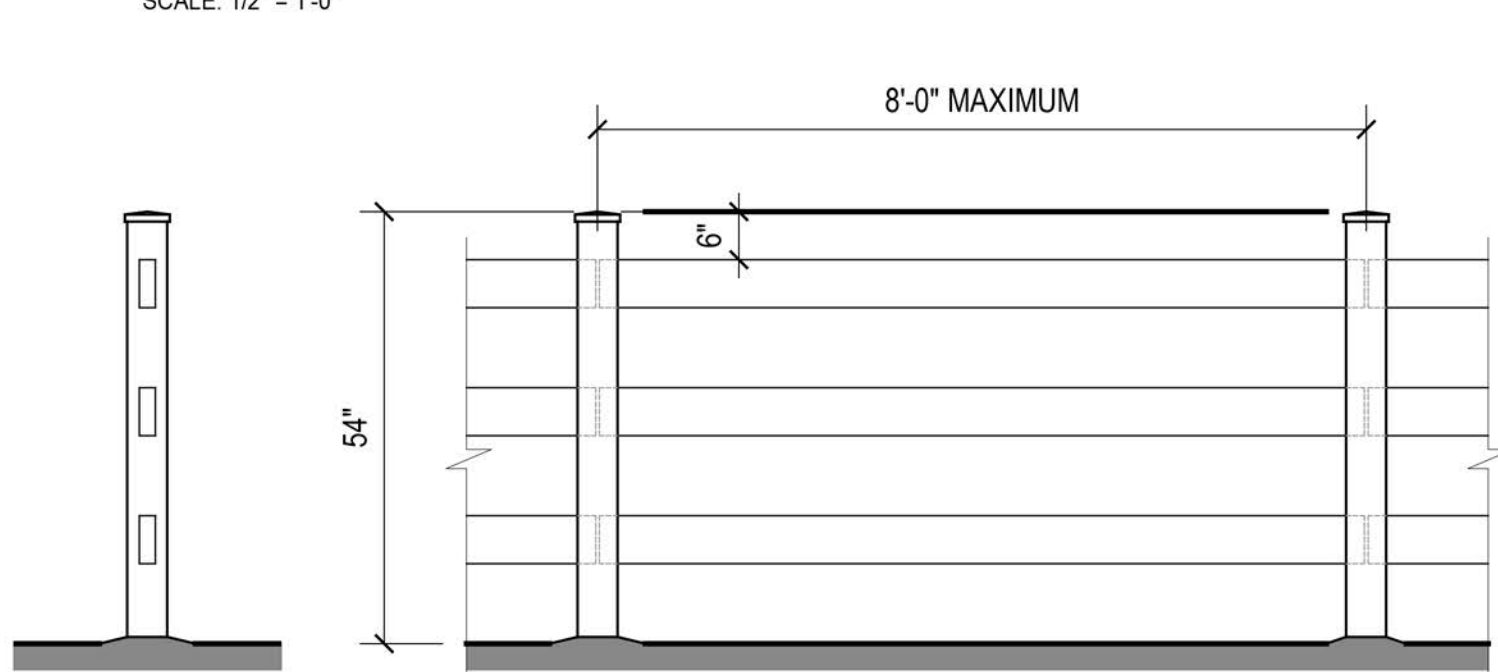


FEATURE LEGEND:

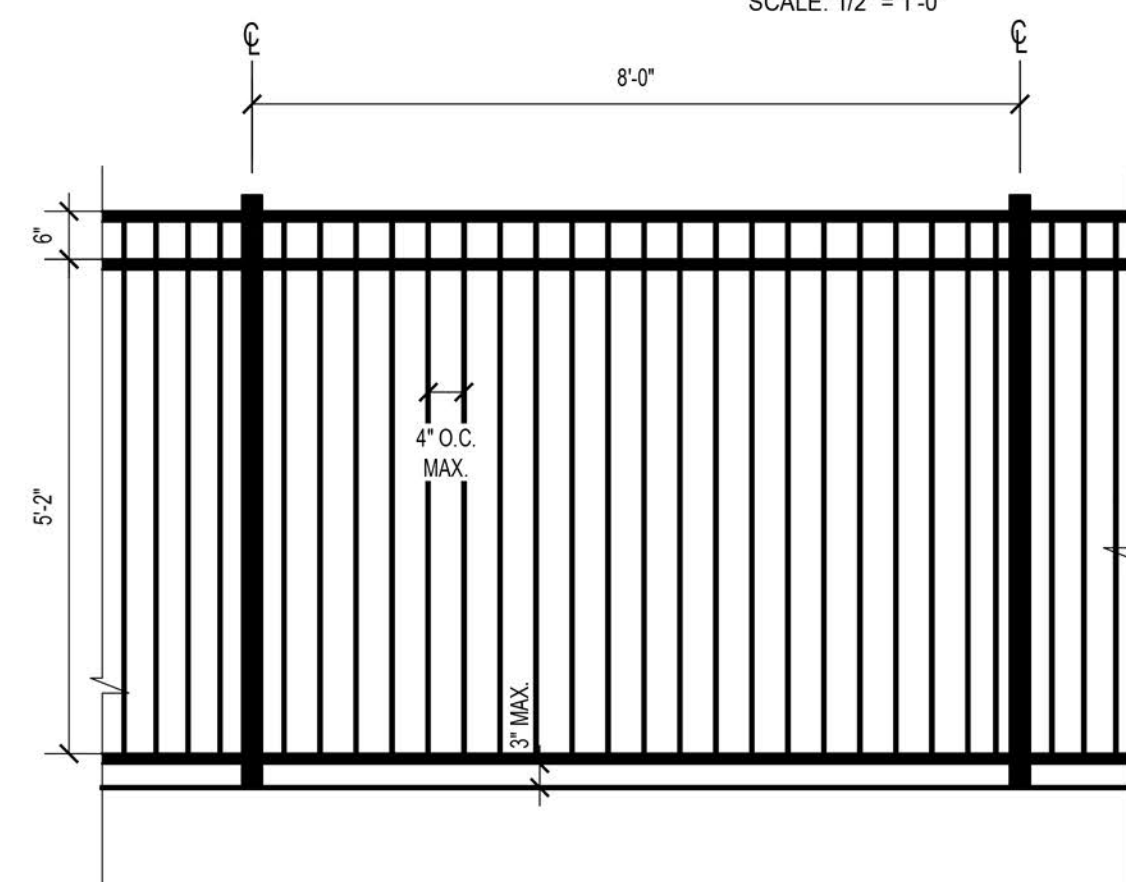
- ① 6' High Split-Face One-Side/Street Facing Block Wall with Cap.
- ② 6' High Vinyl Privacy and Return Fence.
- ③ 16" Square Block Column Pilaster with Cap.
- ④ 3' Wide Vinyl Side Yard Access Gate. Typical.
- ⑤ Park Monument.
- ⑥ 6' High Tubular Steel Sediment Collection Basin Enclosure Fence.
- ⑦ Basin Vehicle Maintenance Gate
- ⑧ Combination Retaining and 6' High Block Wall with Cap. Retaining Wall Per Civil Engineer's Plans.
- ⑨ 54" Tall 3-Rail Vinyl Trail Fence.
- ⑩ Existing Chain-link Fence.
- ⑪ 6' High Chain-link Fence.
- ⑫ 3' Wide Chain-link Gate.
- ⑬ 6' High Tubular Steel Fence.
- ⑭ Combination Block and Tubular Steel Water Basin Enclosure Fence.



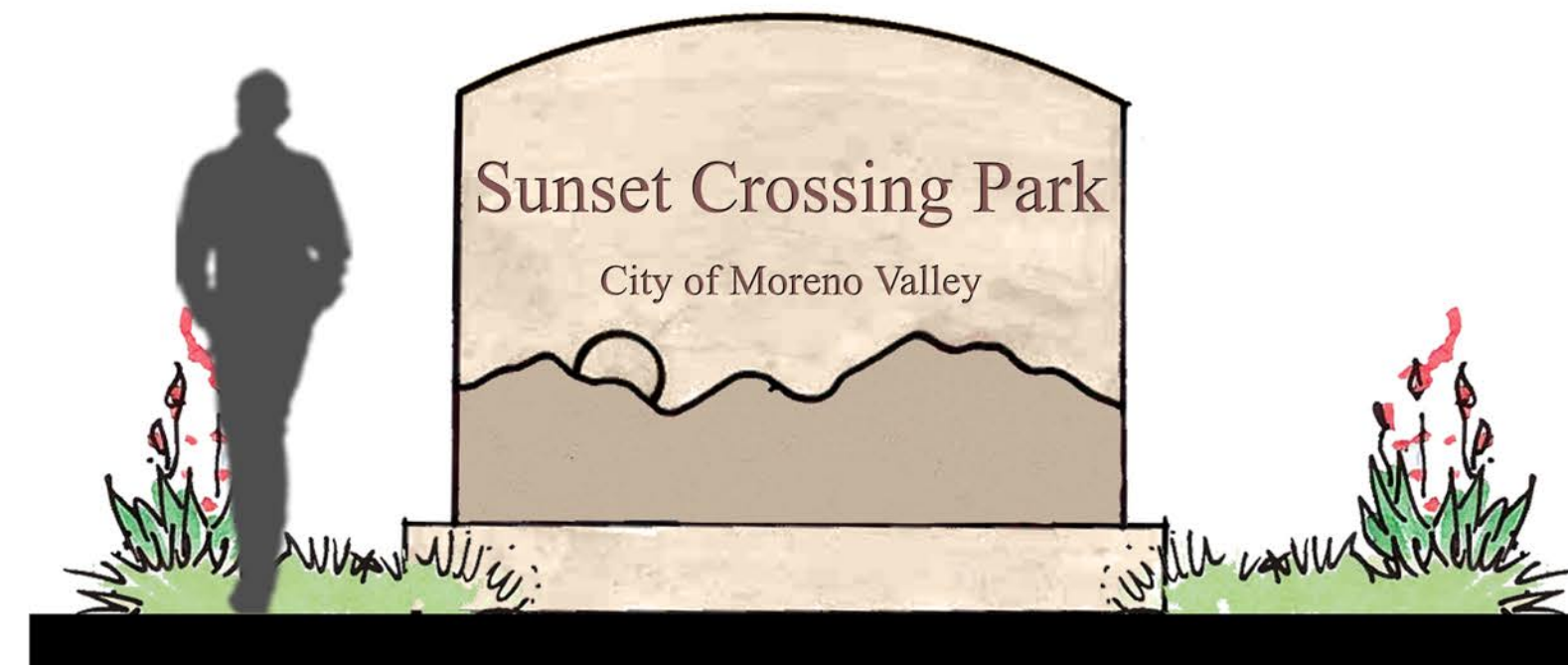
① 6' High Split-Face One-Side/Street Facing Block Wall with Cap. SCALE: 1/2" = 1'-0"
 ② 6' High Vinyl Privacy and Return Fence SCALE: 1/2" = 1'-0"
 ③ 16" Square Block Column Pilaster with Cap. SCALE: 1/2" = 1'-0"
 ④ 3' Wide Vinyl Side Yard Access Gate SCALE: 1/2" = 1'-0"
 ⑥ Combination Block and Tubular Steel Water Basin Enclosure Fence SCALE: 1/2" = 1'-0"



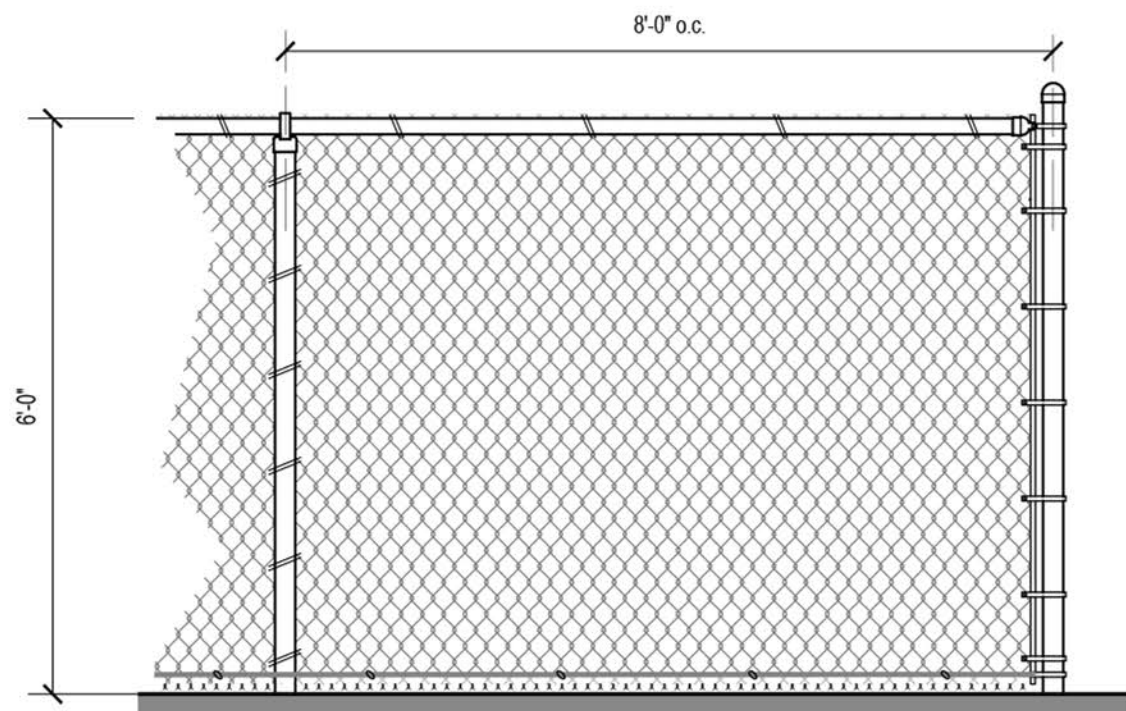
⑨ 54" Tall 3-Rail Vinyl Trail Fence SCALE: 1/2" = 1'-0"



⑬ 6' High Tubular Steel Fence SCALE: 1/2" = 1'-0"



⑤ Park Monument SCALE: 1/2" = 1'-0"

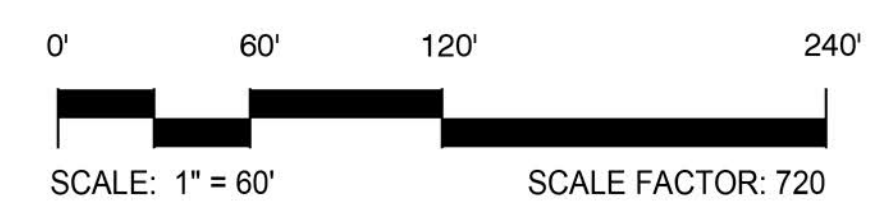


⑪ 6' High Chain-link Fence SCALE: 1/2" = 1'-0"

SUNSET CROSSINGS - NORTH, TRACT # 38443

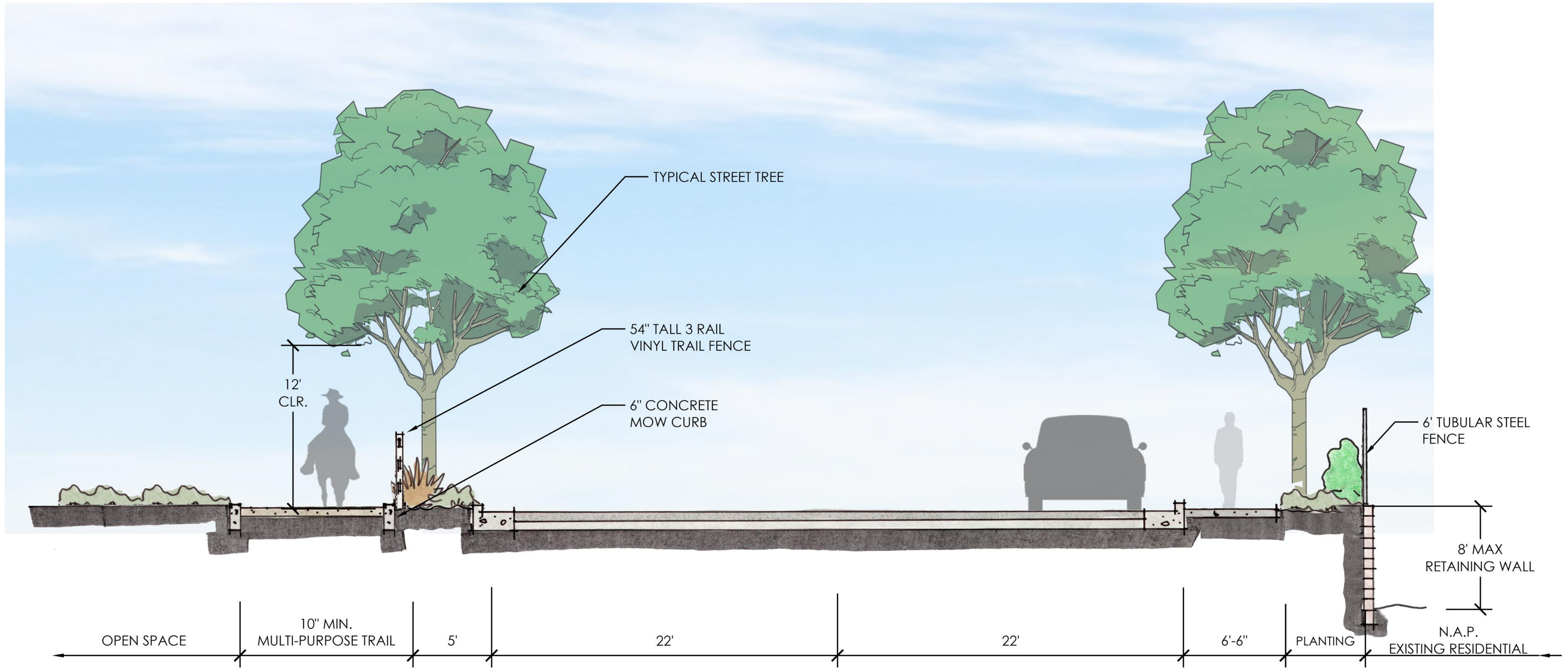
CONCEPTUAL WALL AND FENCE PLAN

MORENO VALLEY, CA

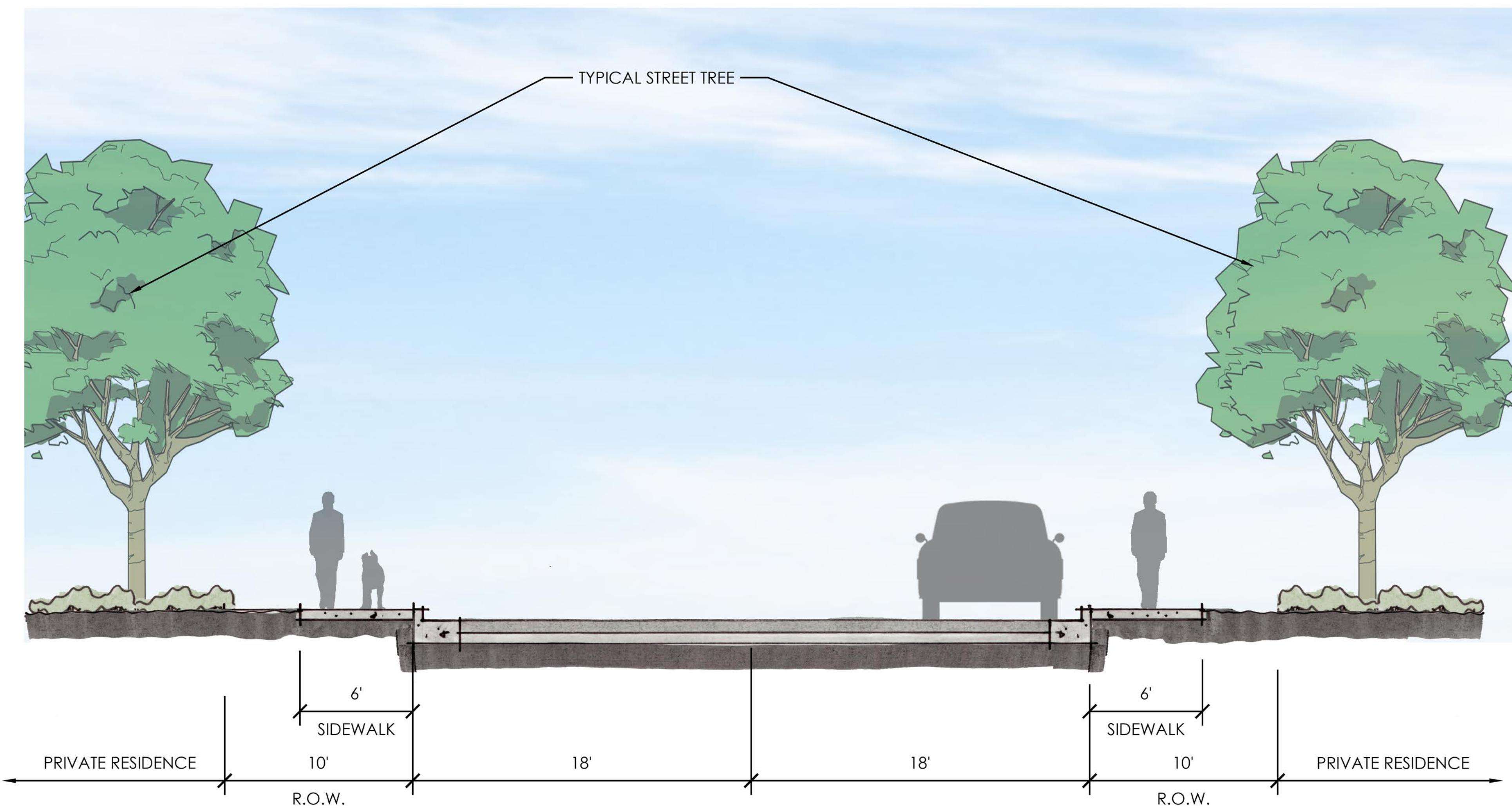


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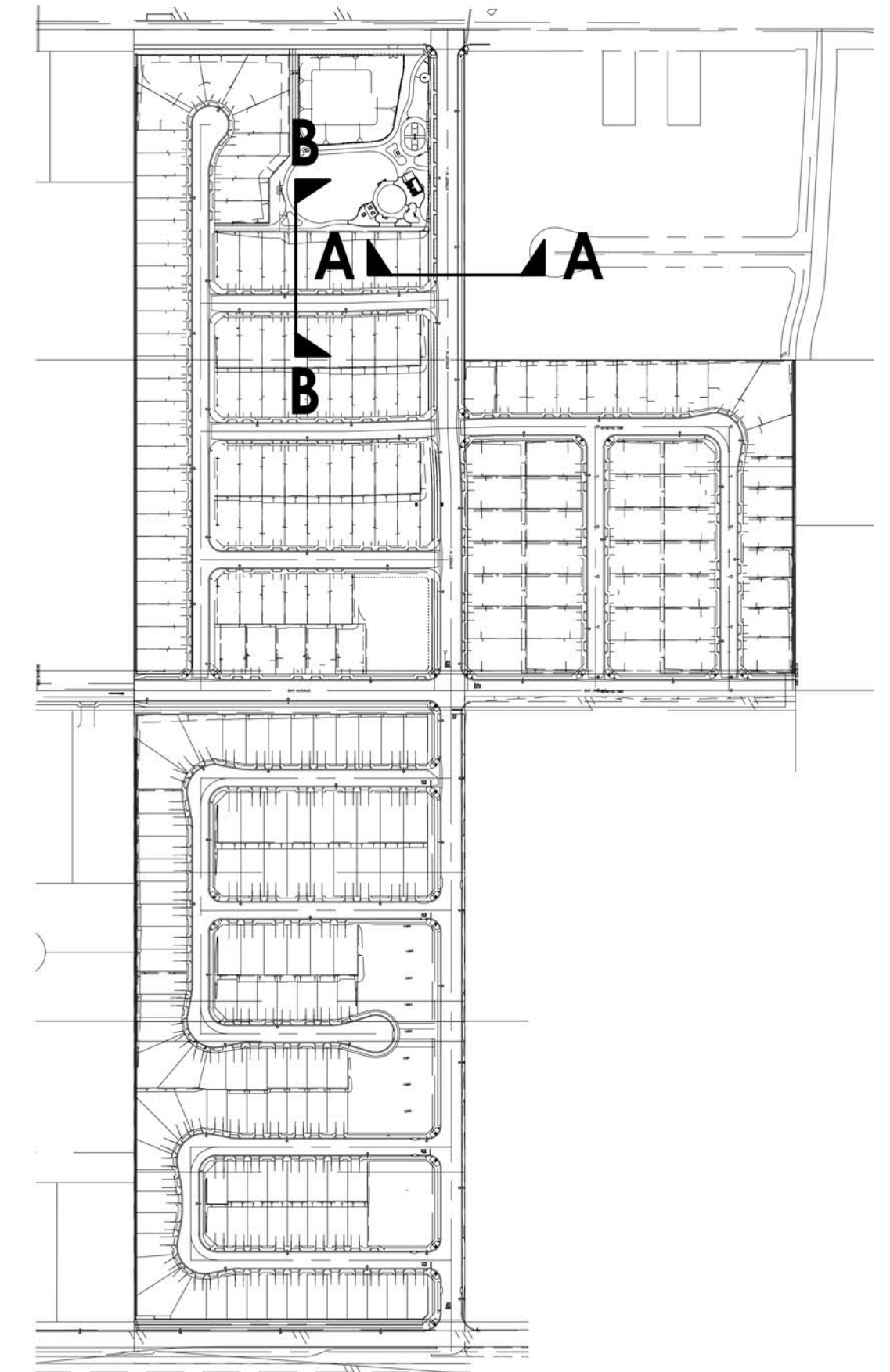


SECTION A-A - STREET 'A' (NORTH)
SCALE: 1/4" = 1'-0"



SECTION B-B - INTERIOR STREET 'D'
SCALE: 1/4" = 1'-0"

KEY MAP





OPEN TURF AREA WITH PICNIC TABLE SEATING
(PICNIC TABLE FROM OUTDOOR CREATION INC.)



PREFABRICATED SHADE STRUCTURE
(FROM POLIGON)



SPLASH PAD WITH PLAY EQUIPMENT
(FROM AQUATIX)



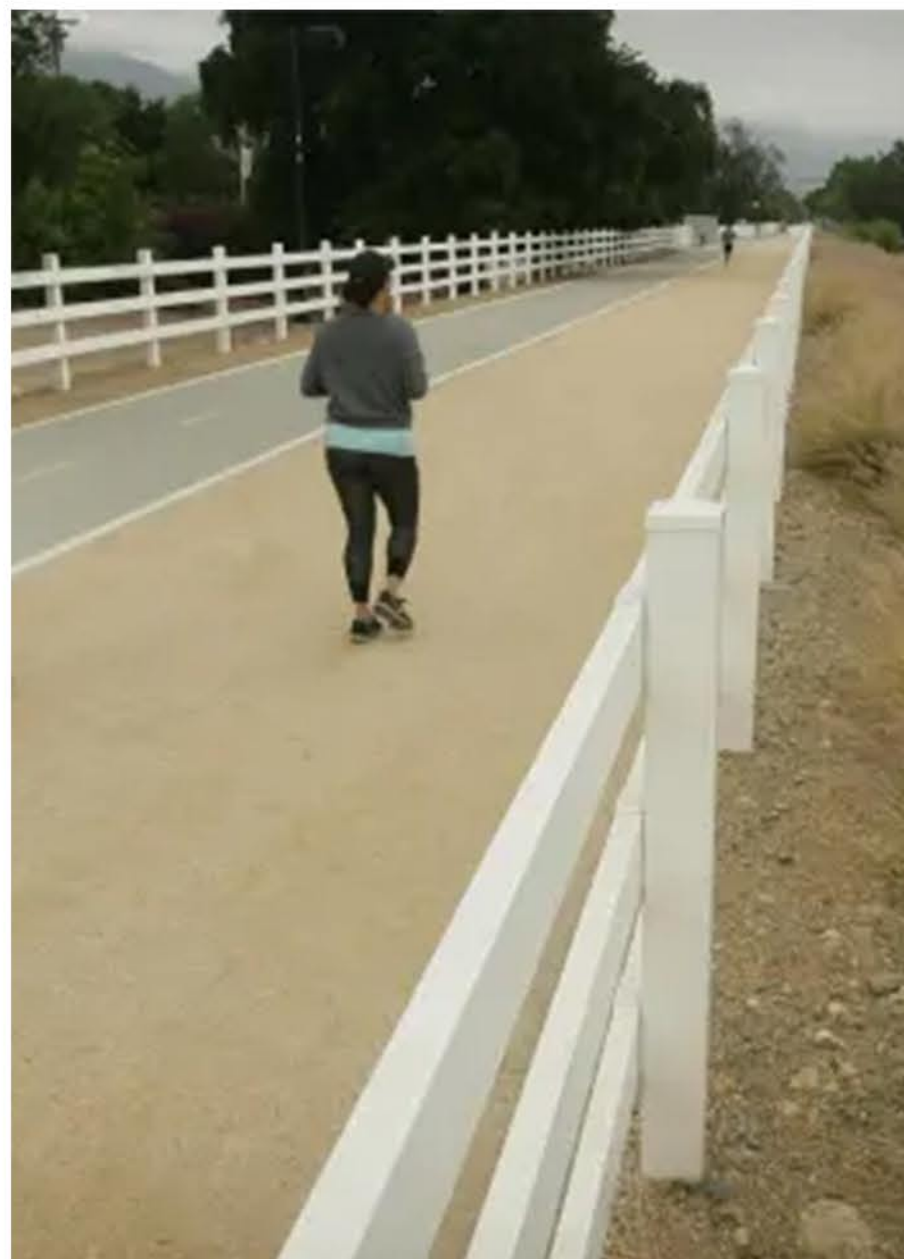
BACK TO BACK BASKETBALL HALF COURTS



DOGGIE WASTE STATIONS
FROM ZERO WASTE INC



FITNESS AREA FROM KOMPAN INC



STABILIZED DECOMPOSED
GRANITE PATH



CALSENSE IRRIGATION
CONTROLLER - MODEL CS3000



LED WALKWAY SECURITY LIGHTING
FROM KIM LIGHTING



GROUP BARBEQUES; CONCRETE PICNIC TABLES, CONCRETE BENCHES; CONCRETE WASTE/RECYCLE CONTAINERS FROM OUTDOOR CREATIONS INC

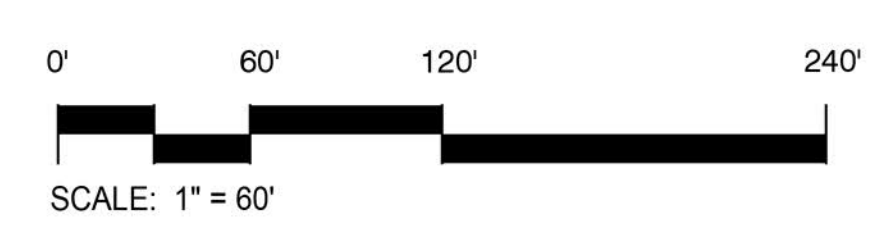




SUNSET CROSSINGS - NORTH, TRACT # 38443

MAINTENANCE EXHIBIT

MORENO VALLEY, CA



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